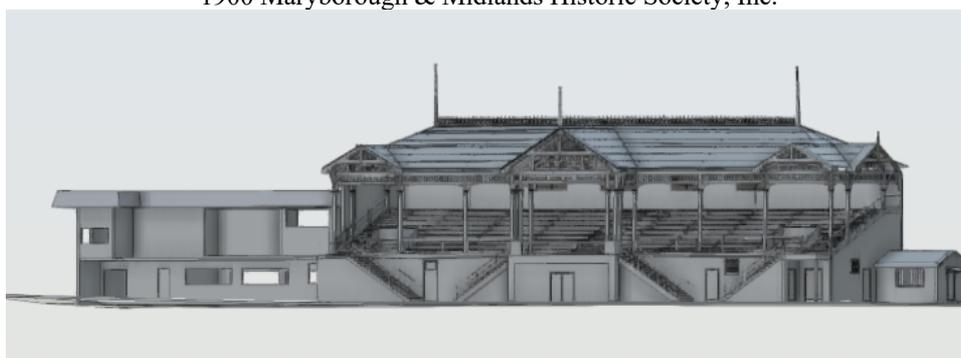




1900 Maryborough & Midlands Historic Society, Inc.



2021 3-D Scan Revit Drawing, Cardno/TGM, Chris White

Conservation Management Plan Princes Park Grandstand (VHR1880)

**40 Park Road, Maryborough 3456
Allotment 1E,65A Township of Maryborough
Central Goldfields Shire Council
NOVEMBER 2021**

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ACKNOWLEDGEMENT OF COUNTRY

Central Goldfields Shire Council acknowledges the ancestors and descendants of the Dja Dja Wurrung.

We acknowledge that their forebears are the Traditional Owners of the area we are on and have been for many thousands of years.

The Djaara have performed age old ceremonies of celebration, initiation and renewal.

We acknowledge their living culture and their unique role in the life of this region.

CONTENTS

1. EXECUTIVE SUMMARY	5
2. INTRODUCTION	
Background and Brief	9
Scope	
Location	
Constraints and Limitations	
Methodology	
Acknowledgement	
Terminology	
Existing Heritage Listings	
Management and Ownership	
3. HISTORY	16
Introduction	
The formation of Prince’s Park, 1857-1900	
Creating the Prince’s Park	
Prince’s Park and the community	
Softening the impact of mining	
Maryborough Grandstand and the growth of organised sport	
The Grandstand becomes a community asset Prince’s Park in the Twentieth Century	
The park before WW1	
The memorial gates	
The Olympic Pool and revival after mining	
Difficult times and defending Prince’s Park	
Registering Prince’s Park on the Victorian Heritage Register	
4. PHYSICAL DESCRIPTION AND ANALYSIS OF FABRIC	35
5. EXISTING CONDITION	46
6. WHY IS THE GRANDSTAND SIGNIFICANT?	48
Victorian Heritage Registration Statement of Significance	
Statement of Significance, Conservation Analysis, 2000.	
7. HERITAGE MANAGEMENT	54
8. CURRENT AND FUTURE USER REQUIREMENTS	54
9. CONSERVATION POLICIES	58
General Conservation Policies	
Specific Conservation Policies and Actions	
10. MAINTENANCE PLAN AND RECOMMENDATIONS.	64
Maintenance Plan	
Action Plan	
Conclusions	

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Conservation Management Plan Princes Park Grandstand (VHR1880)

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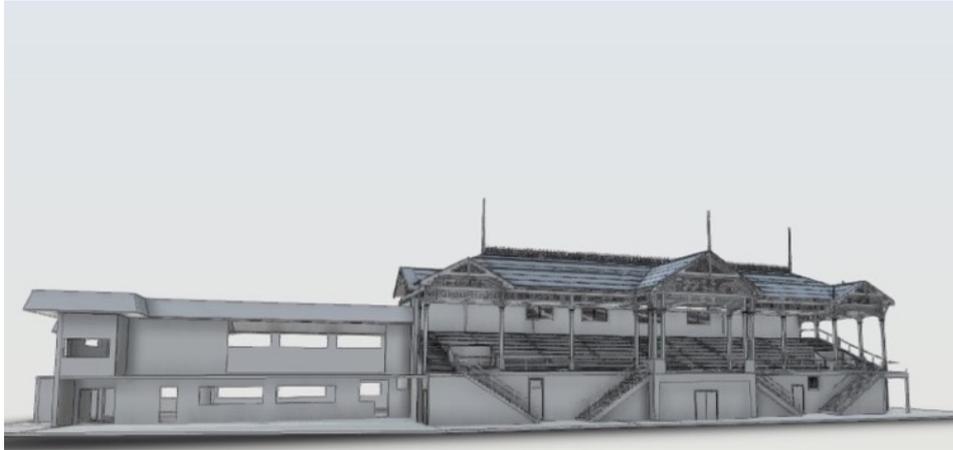
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East Elevation Princes Park Grandstand & Clubrooms, (Cardno/TGM, 2021, presented by Mandy Jean).

1. Executive Summary

The purpose of this Conservation Management Plan is to explore the cultural heritage values of the Princes Park Grandstand, a landmark structure in Princes Park, which is listed on the Victorian Heritage Register at state level and make recommendations for its conservation.

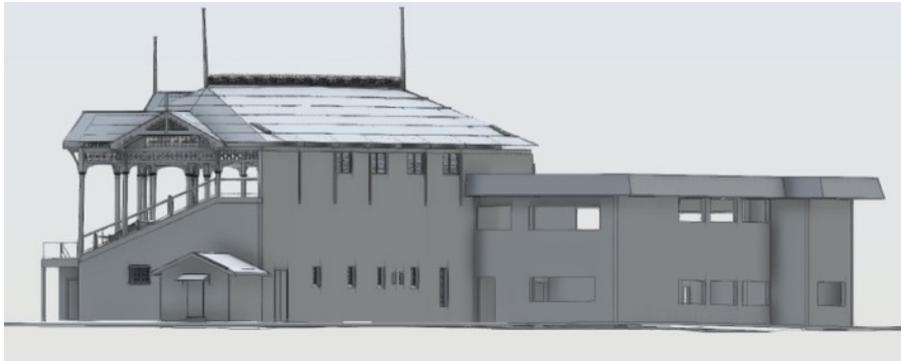
The work was undertaken by Amanda Jean, Heritage Architect, and subcontractors, James Liversage, Joint Business Leader - Buildings Victoria /Cardno/TGM, Nathan Farrell, Geospatial Manager, Ballarat Cardno/TGM and Dr Charles Fahey, historian, La Trobe University, Bendigo as well as Anne Fahey, historian, in collaboration with the Maryborough Midland Historic Society.

As the managers/owners of a listed state heritage asset, the Central Goldfields Shire Council has obligations under the *Heritage Act 2017* (the Act) to maintain the Maryborough Grandstand and Princes Park to the extent that its conservation is not threatened (section 153), and to ensure that it does not fall into a state of disrepair (section 152). The goal of Council is to ensure that the Grandstand retains its cultural heritage significance at state level as a landmark feature in Princes Park for the benefit of the community and as an example of a rare surviving late 19th century timber structure.

The benefits of preparing a conservation management plan and maintenance plan are that it establishes an agreed statement about the significance of the property; an agreed baseline condition survey; agreed approaches and actions to maintain the outstanding importance of the property; and an agreed framework for applications for grant assistance and/or development proposals.

The Grandstand is a landmark structure in Princes Park. It epitomizes the late nineteenth development of public recreation and sport, when leisure became formalized and legislated becoming an essential part of the Australian lifestyle. The creation of Princes Park could never have happened without the

rise and abandonment of extensive gold mining land in the centre of Maryborough. While there are many other grandstands in former gold mining towns in Victoria, Princes Park Grandstand is one of the few that remain with such a high degree of integrity of structure, design and appearance.



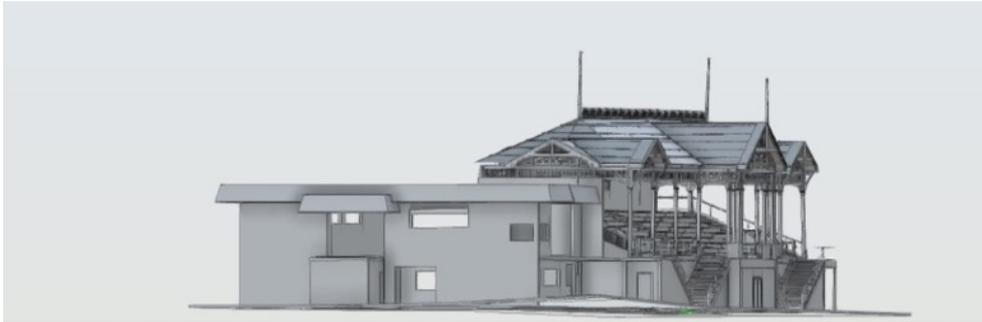
West Elevation Princes Park Grandstand and Clubrooms, (Cardno/TGM, 2021, presented by Mandy Jean).

Additional historic research undertaken by Dr Charles Fahey and Anne Fahey in collaboration with Maryborough and District Historic Society, highlights the historical importance of the Princes Park Grandstand. They inspected nearly a hundred years of Maryborough Council Meeting Minutes to record the community involvement in the development of Princes Park and construction of the Grandstand. Its iconic form is symbolic of the heyday of the nineteenth sporting culture in Australia, when thousands of spectators for the first time began to attend regular events. The events attracted over 6,000 to 8,000 spectators by 1900 and within a hundred years attracts in excess of 30,000 people for the Energy Breakthrough event in November each year.

A structural dilapidation assessment prepared by CARDNO/TGM (*Princes Park Grandstand Report 2021*) confirms the basic soundness of the structure and excellence of the original structural timber design of the grandstand. Damage is largely due to weathering and rainwater entering the roof and open sides and causing floor timbers to rot in specific areas, which likewise have impacted upon the timber supporting structure of the raked seating. A site survey records a chronology of alterations over a hundred and thirty years, confirming that these important incremental repairs have retained the structure in good condition. In most other examples across Victoria demands for expanding facilities and updating services within the building envelope of historic grandstands have consequentially impacted upon the original design details. In the case of Princes Park Grandstand, the construction of the abutting 1977 Clubrooms has meant that the historic Grandstand retains a high degree of integrity, which is unusual in the present day.

Comparative analysis with other similar structures offers a greater understanding of the level of significance of the Princes Park Grandstand and its importance in the evolution of timber engineering technology in the period between 1860 and 1915 in Australia. By 1900 most grandstands were built

with a combination of brick concrete and metal. Princes Park Grandstand represents the height of nineteenth timber technology in Australia.



South Elevation Princes Park Grandstand and Clubrooms, (Cardno/TGM, 2021, presented by Mandy Jean).

Ultimately, the social value of the place and positive community and user experience of Princes Park Grandstand will ensure its retention into the future. An excellent 3-D scan of the Grandstand and adjacent Club Rooms completed by CARDNO/TGM land surveyors, allows accurate dimensioned perspective images of the grandstand and its relationship to the 1977 Clubrooms. The entire timber structural frame has been measured and drawn. Each timber component and connection of the Grandstand has been identified, and its structural role assessed. A better understanding of the three-dimensional nature of the grandstand can assist with recommendations for remedial action. The 3-D scans can also be used to develop full concept design drawings and documentation for future work.

Working with the Central Goldfields Shire Council Communication Plan that was developed for the project which encouraged engagement with local sporting groups and users of Princes Park, has provided essential insight into requirements for upgrades of the facilities. Extensive public communication and messaging was undertaken to inform all local residents and visitors, user groups, Federal and State funding organizations, Central Goldfields Shire Council staff and particular attention was given to people with disabilities and mobility issues. The public engagement has included among other things, Council's regular website, facebook, twitter, media release/photo opportunities, as well as Council advertisements in *The Maryborough District Advertiser*, and other local newspapers, including Mayor Meddows-Taylor and Councilor Lovett's column and the Chief Executive Officer's weekly radio spot.

Recommendations

This Report supports the findings and recommendations of the structural dilapidation assessment and recommends that all identified remedial action be undertaken as soon as possible. While the Grandstand is in a fairly sound condition, immediate conservation and cyclic maintenance is vital to ensure that deterioration does not accumulate to the point of loss of original fabric and significant structural damage. It is recommended that a project plan be prepared to include all urgent

conservation works, which in most cases, is replacement like for like. Thereafter, a five-year inspection and maintenance programme commence.

Recommended Conservation and Maintenance Works Immediate and Urgent work in Areas of High Significance

1. Replacement of the corrugated metal sheet roofing and associated roof plumbing.
2. Replacement of the timber tongue and groove lining boards to the entire floor area and steps of the raked seating area. Included in this work should be a structural inspection of the sub-floor area and following structural engineer's instructions, strengthening of the timber structure, tightening of fastenings in compliance with building codes.
3. Remedial action to the entire timber roof truss system, which is mainly restricted to tightening fastening and connectors that have become loose and splicing out rotted sections. Sagging has been identified but with recommended removal of the paint system (see below) a more detailed inspection will be possible. Tightening or replacement of roof bracing rods (tightening should only be to a level that eliminates sag). Some trusses are showing small movement of the mortice and tenon joints where struts are connected to the king posts. This is most likely caused from sag of the tie beam. Recommended that all truss-node connections be visually looked at by a builder and tightened / made good as required).
4. Remedial action to the concrete and timber post on the north-east corner post that is leaning to the west. This needs to be straightened. The post is bearing on the corner of the concrete landing where there has been some movement between the landing interface with the masonry under. This has caused the post to rotate and is now visibly out of vertical alignment. CARDN/TGM recommends that the roof be propped in this zone, while work is undertaken.
5. Removal of the paint system to all previously painted timber members including fascia boards and decorative details. Replacement of rotted boards and missing decorative details and repainting with preservative undercoating.
6. Remedial works to repair all cracks on the circa 1950-1970s brick and concrete external stairs to the east elevation of the Grandstand. This work is not structural at this stage. Remedial work to all external brick walls, repair missing mortar and cracks in all brick masonry work.

Recommended Refurbishment and Upgrade Works to Internal Areas of Heritage Significance /Short to Medium Term

The ground floor area and its original configuration was re-designed and refurbished in 1977. The current facilities and services are not adequate for the users and require upgrading.

It is recommended that the spatial layout of the 1977 Club Rooms and the Maryborough Grandstand be examined through the process of a spatial Master Plan prepared by an architect. This includes an integrated and interconnected range of services to the users and the public.

2. INTRODUCTION

Background and Brief

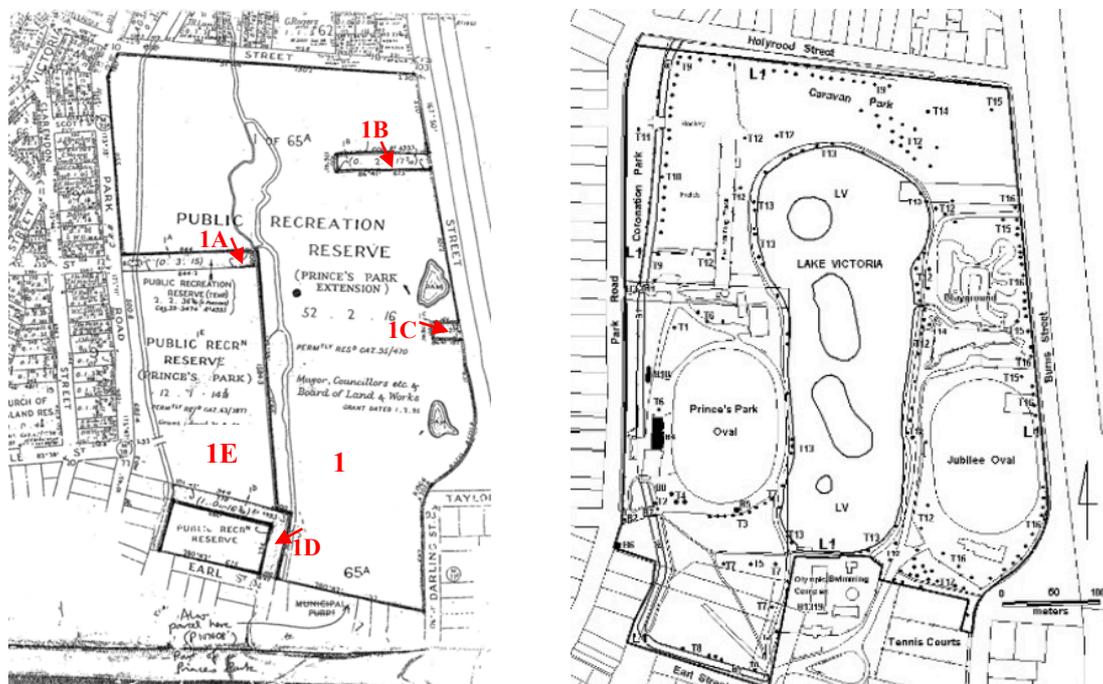
This Conservation Management Plan (CMP) was commissioned by Central Goldfields Shire Council in November 2020 to provide guidance on how to conserve the physical fabric of the grandstand as a major landmark feature in Princes Park, as well as retains its social and heritage values in the face of changing user expectations.

The Princes Park Grandstand CMP sets out recommendations for the conservation, restoration and cyclic maintenance of the place based on recommendations of a dilapidation report prepared by CARDNO/TGM structural engineering. CARDNO/TGM were commissioned to undertake a 3-D scan of the building available on Rivett, CAD drawing system. Dr Charles Fahey and Anne Fahey, historians, were engaged to review and update the existing history of the place. A history of Princes Park is included in the *Prince's Park Maryborough Conservation Analysis and Master Plan*, John Patrick Pty Ltd, landscape architects, 2000, for Central Goldfields Shire Council.

Crown Allotment 1E, Section 65A, Township of Maryborough, being the remaining area permanently reserved for public recreation by Order in Council of 26 October 1863, for which a Crown Grant was issued in favour of the Mayor, Councillors and Burgesses of the Borough of Maryborough on 31 August 1864. This is the original reserve on the eastern side of Park Road.

Crown Allotment 1, Section 65A, Township of Maryborough, being the remaining area permanently reserved for public recreation by Order in Council of 23 January 1895, for which a Crown Grant was issued in favour of the Mayor, Councillors and Burgesses of the Borough of Maryborough and the Board of Land and Works on 1 February 1895. This allotment increased the reservation to the north and east. Note that the Department of Natural Resources and Environment is the legal successor to the former Board of Land and Works.

Crown Allotments 1A, 1B, 1C and 1D, Section 65A, Township of Maryborough, being the areas temporarily reserved for public recreation by Order in Council of 23 October 1939, for which the Maryborough Borough Council was appointed as committee of management on 15 June 1949. These allotments were former road reserves that were unused.



Princes Park Public Recreation Reserve, Governmental Gazettal of the Public Recreation Reserve, Princes Park, Reserve File (DELWP)

Scope

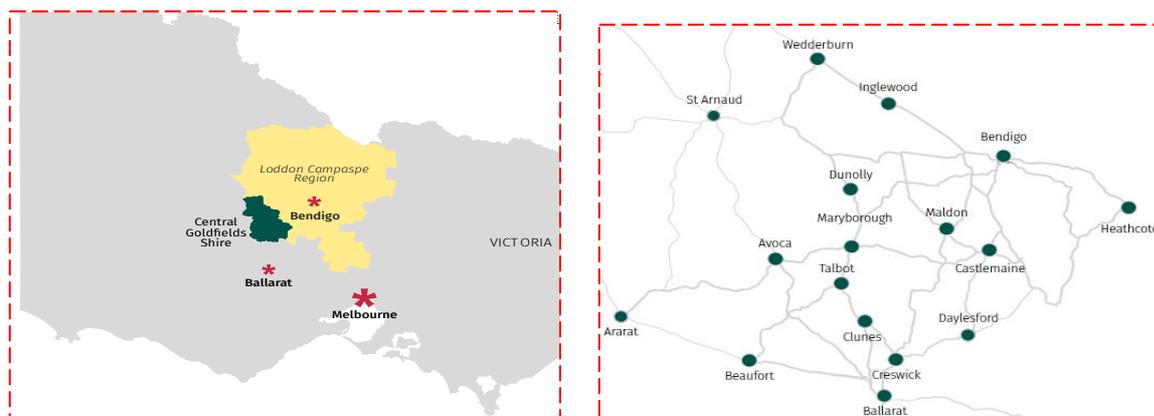
The study area for the Princes Park Grandstand Conservation Management Plan is limited to the land upon which the 1892 timber and brick structure of the Grandstand known as ‘Princes Park Grandstand’ is located at the entrance to Princes Park, in Park Street.



Princes Park is an extensive area of over 26 hectares of public recreation land. It is bound by Holyrood Street to the north, Burns Street to the east, Park Road to the west and Earl Street and Lake Drive to the south. The study area includes the immediate land and garden surrounding the grandstand but excludes a detailed analysis of the Club Rooms attached. This latter building was completed in 1977. It is not identified as having heritage significance at state level heritage but is included in the extent of the Victorian Heritage Register. It is of cultural interest due to its history and importance to the users of the Princes Park. An aerial image showing the extent of the study area (in red) is included in this report as Figure 1. The layout plan of associated buildings is included in the Princes Park layout plan on page 20.

Princes Park has been managed by Central Goldfields Shire Council since 1946, under delegated Committee of Management. This Report considers the landscape, infrastructure, adjacent trees, monuments and building exteriors and interiors. It does not include an assessment or consideration of the moveable collections within buildings, or the interior of the adjacent Maryborough Highland Band Club Rooms. The significance of each element of the place is considered in relation to the place itself, and also Princes Park. A comparative analysis of the grandstand is considered in the broader context, at the municipal and state level.

Location



Near Map (CGSC) showing the extent of Princes Park and the location of the Grandstand



Near Map (CGSC) showing the extent of Princes Park and the location of the Grandstand

Constraints and Limitations

The project was undertaken during 2021 when the Victorian government introduced lockdown restrictions in response to widespread covid-19 infections. This limited public movement and access to historical archives opportunities to access the 19/20th century Council Meeting Minutes held at the Worsley Cottage Museum Complex of the Maryborough Historical Society. In consequence, the project plan was extended several times.

Methodology

The CMP broadly follows the format of the Australia ICOMOS (International Council on Monuments and Sites) guidelines for the preparation of conservation plans and the principles set out in the Australia ICOMOS Burra Charter, 1999, adopted by Australia ICOMOS to assist in the conservation of heritage places.

In accordance with the principles of the Burra Charter the sequence of the work firstly establishes the cultural significance of the site through a process of investigation and analysis. Specifically, it seeks to understand all factors that contribute to the acknowledged state level cultural values, in particular the aesthetic, historic, scientific and social values. As part of this process, the different levels of the building's significance are investigated as well as the adjoining land and features.

The approach involves the following tasks:

- Examination of relevant reports, published histories and background material including historic pictures, maps, plans, articles, council meeting minutes, land reserve file;
- Examination of plans and aerial photos of the whole site and individual elements;
- Site inspections with client, land surveyor and structural engineers;
- Preparation of structural dilapidation report;
- Preparation of survey drawings and 3-d modelling of the buildings to scale;
- Inspection and assessment of physical fabric, external and internal spaces;
- Physical survey of the setting, views, integrity and condition of structures;
- Tree survey of setting;
- Comparative analysis;
- Analysis of existing statement of significance and criteria;
- Analysis of social values through community engagement;

- Identification of issues arising from significance and users requirements;
- Identification of desired conservation outcomes;
- Development of policies - on how the place should be managed, used, maintained, upgraded and developed;
- Consideration of statutory protection within the Central Goldfields Planning Scheme and by Heritage Victoria as well as by other regulatory authorities;
- Recommended actions.

Documents:

1. Conservation Polices and Conservation Methodology Strategies.
2. Structural Dilapidation Report and recommended remedial action.
3. Included in the Dilapidation Report is a Condition Assessment of the Grandstand that prioritised recommendations including a staged approach to return the facility to its former (original or better) condition separating the structural.
4. The structural analysis uses information from a Feature and Building Survey Drawings prepared by Cardno/TGM, Ballarat. This suite of documents includes 3 –D imaging at LOD400 scale to produce three dimensional elevations which have been used to assist analysis of the timber structural frame.
5. The Dilapidation Report includes a Photographic Record of elements of the building.
6. This Conservation Management Plans sets out the recommended works in terms of a Conservation, Restoration, Reinstatement and Reconstruction. Taking into account the prioritized recommendations of the Condition Assessment and Maintenance Plan, an Action Plan for future work is recommended.
7. A sample Maintenance Schedule is included. This is a practical working document that specifies routine maintenance that should occur while, and in order to preserve the identified key features to be retained or improved (such as colour schemes, construction methods, materials, etc.).

The Conservation Management Plan has regard for the recommendations and guidance provided by the following documents:

- Victorian Heritage Register (VHR) Citation Number: H1880
- *Prince’s Park Maryborough Conservation Analysis and Master Plan* (John Patrick Pty Ltd, 2000),
- Central Goldfields Planning Scheme
- Heritage Victoria guidelines including *Conservation Management Plans (2010)*, *Managing Heritage Places (2010)* and *Victorian Government Asset Management (2015)*.
- *Active Central Goldfields Recreation and Open Space Strategy 2020 to 2029*
- *Tourism & Events Strategy* prepared by Urban Enterprise on behalf of Central Goldfields Shire Council.
- *Communication Plan* and response.

Acknowledgement

Marc Cassidy
Ben Robertson
Malcolm Blandthorne
Alisha Chadwick
Barb Nielsen

Maryborough Cricket Club /Football
Maryborough Cricket Club
Maryborough Highland Society
Maryborough Netball Club
President,
Maryborough Midlands Historical Society

Terminology

The terminology used in this report references *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013*, Article 1- Definitions.

- **Place** means site, area, building or other work, group of buildings or other works together with associated contents and surrounds.
- **Cultural significance** means aesthetic, historic, scientific or social value for past, present or future generations.
- **Social value** embraces the qualities for which a place has become a focus of spiritual, political, national or other cultural sentiment to a majority or minority group.
- **Fabric** means all the physical material of the *place*.
- **Conservation** means all the processes of looking after a place so as to retain its *cultural significance*. It includes maintenance and may according to circumstance include **preservation, restoration, reconstruction and adaptation** and will be commonly a combination of more than one of these.
 - **Maintenance** means the continuous protective care of the *fabric*, contents and setting of a *place*, and is to be distinguished from repair.
 - **Repair** involves *restoration or reconstruction*, and it should be treated accordingly.
 - **Preservation** means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.
 - **Restoration** means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
 - **Reconstruction** means returning a *Place* as nearly as possible to a known earlier state and is distinguished by the introduction of materials (new or old) into the *fabric*.
 - **Adaptation** means modifying a *place* to suit proposed compatible uses.
 - **Compatible use** means a use which involves no change to the culturally significant fabric, changes which are substantially reversible, or changes which require a minimal impact. *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013*, Article 1- Explanatory Notes.

Existing Heritage Listings

Victorian Heritage Register <https://vhd.heritagecouncil.vic.gov.au/places/1982/download-report>

40 Park Street Maryborough, Central Goldfields Shire

Municipality Central Goldfields Shire

Registered Victorian Heritage Register (VHR) Number H1880

Heritage Overlay Numbers HO166, VHR Registration July 20, 2000

Heritage Listing : Victorian Heritage Register

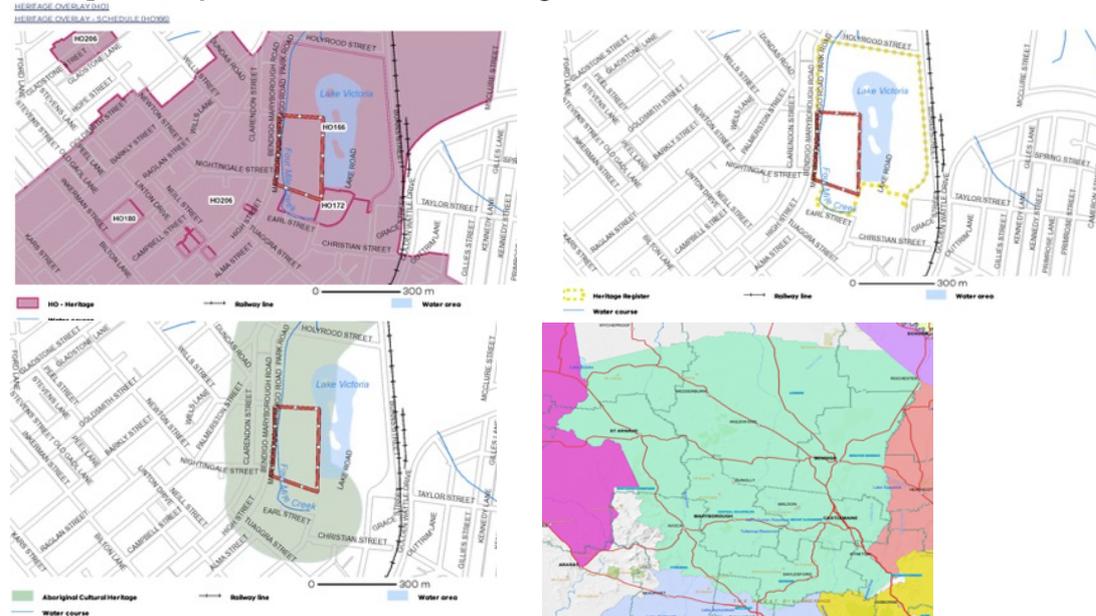


Photo Heritage Victoria 2000

Obligations under the Heritage Act 2017

State significant heritage places are included in the Victorian Heritage Register, established under the *Heritage Act 2017* (the Act). This legislation is administered by Heritage Victoria in the Department of Environment, Land, Water and Planning and the Heritage Council of Victoria, an independent statutory authority. A place listed in the Victorian Heritage Register is legally protected. As the managers/owners of a listed heritage asset, the Central Goldfields Shire Council has obligations under the *Heritage Act 2017* (the Act) to maintain the Maryborough Grandstand and Princes Park to the extent that its conservation is not threatened (Section 153), and to ensure that it does not fall into a state of disrepair (Section 152).

Heritage Overlay Central Goldfields Planning Scheme



Management and Ownership

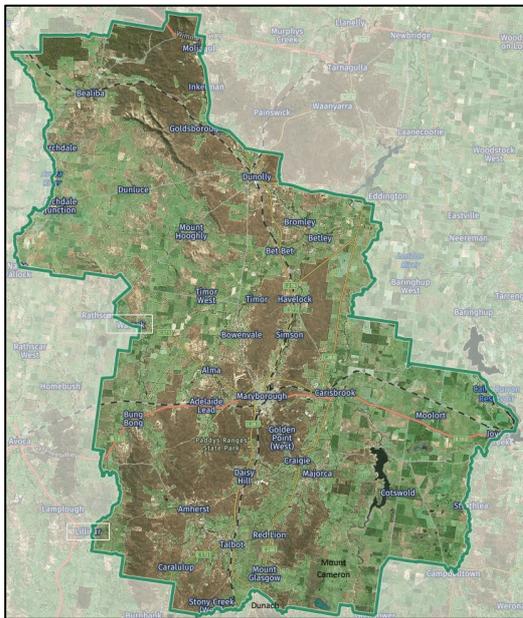
By 1851 in the new colony of Victoria, a vast area of 275,874 hectares was gazetted for townships. The Orders in Council governed land matters in Victoria until 1860 when a first land bill was passed. Under the provision in the Orders in Council for reserving townships the urban area of Maryborough was surveyed and offered for sale at public auction. These orders became the basis for granting land for public purposes such as churches, and for continuing the process of setting aside reserves for public amenity – such as for recreation – public gardens, sports grounds and racecourses. The latter remained in Crown ownership often managed by local government. From 1856 to 1858, 42 recreation reserves were gazetted covering an area of 1042 hectares. Prince's Park was one of these.¹

The Princes Park Grandstand stands in a Public Recreation Reserve that was gazetted in 1857. It remains unceded Crown Land, located on Dja Dja Wurrung Aboriginal Clan country. Since 1946 the Committee of Management has been the Shire Council.

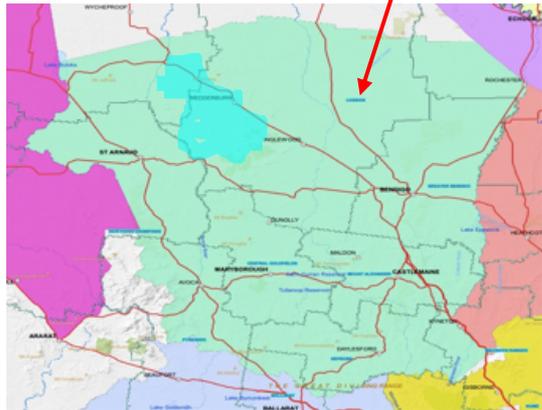
¹ Wright, *Bureaucrats Domain*, pp. 71-78- extract from The History prepared by Dr Charles Fahey, p18.



Princes Park Master Plan (CGSC)
 Central Goldfields Shire Council Map Source: <https://centralgoldfields.pozi.com/>



Dja Dja Wurrung Aboriginal Clan Country



Central Goldfields Shire (left diagram)



View taken from the *Active Central Goldfields Recreation and Open Space Strategy 2020 to 2029*.

3. HISTORY

Prince's Park Grandstand and Park: An Outline

Anne and Charles Fahey

Introduction

Located the very edge of the main retail district of Maryborough and in the centre of the city, Prince's Park is an extensive area of over 26 hectares of public recreation land. Today the park provides recreational facilities for a range of sporting groups - including Australian Rules Football, soccer, cricket, netball, tennis and swimming – and provides space for less structured leisure with walking tracks, a large lake and trees and ornamental gardens.

The most imposing structure in the park is the late nineteenth century grandstand on the western edge of the main oval. Taking pride of place from 1895, the grandstand remains an evocative symbol of the rise of organised sport and leisure in the late nineteenth century. Yet the Park was also built on a story of dispossession of land from its indigenous owners.

The subsequent gazettement and growth of the Park owed much to the discovery of gold, its impact on the disposal of Crown land and the ideological baggage brought to Victoria by the migrants who arrived in the 1850s. Modern users of the park enjoy the legacy of decisions that have shaped the reserve for over 160 years. This brief history will outline how this public space evolved, and how the park can be read as an eloquent document of the dreams and hopes of past and present residents of Maryborough. To understand the grandstand and its surrounding parklands we need to explore this history.²

The formation of Prince's Park, 1857-1900

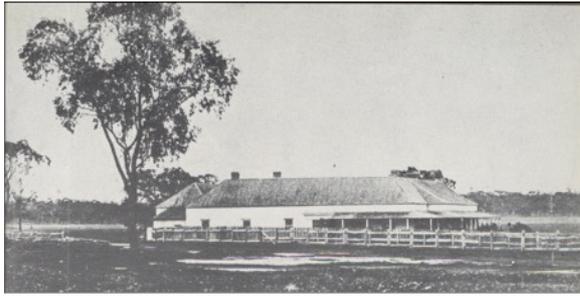
Land battles

Although gazetted by the Victorian government as a recreation reserve in 1857, the origin of Prince's Park in Maryborough lies in the great battle for land in nineteenth century Victoria. In the 1830s and 1840s squatters moved in the unceded land of the Dja Dja Wurrung. Modern Maryborough lies on the edge of three pastoral holdings: Charlotte Plains, Dunach Forest and Glemona. Charlotte Plains, which encompassed the greater part of Maryborough, was settled by the Donald Campbell Simson in 1840.³ J M Darlot, Simson's overseer, overlanded livestock stock from the Monaro district in 1840 heading for the Portland Bay District. The destination of Portland Bay had been chosen by Hector Norman Simson, Donald's brother. Donald Simson, travelling to Melbourne by sea, decided that due to stock losses through scab and catarrh and the onset of lambing among ewes it would be better to stay put in the Loddon district. Covering an area of 121,000 hectares (300,000 acres) at that time the Charlotte Plains run was intersected by two creeks later called Four Mile Creek and Deep Creek Charlotte Plain run. The Crown Land lease, pastoral run, was progressively split up from the original 300,000 acres to 28,000 acres by 1865. The vegetation of the district was open grasslands, interspersed with river red gums along the creeks, and patches of box and ironbark woodlands.⁴

² We would like to thank Barb Nielsen for making the Maryborough Council Minutes and photographs of Prince's Park available to us from the collection of the Maryborough Midlands Historical Society.

³ Charlotte Plains pastoral run was originally 300,000 acres licensed to DC Simpson, who split the run up in 1851 due to laws governing the size of pastoral runs into: Janeville, Languy-coorie and Charlotte Plain, now 50,000 acres. By 1865 Charlotte Plain run had shrunk to 28,000 acres, when owned by the Yuille Family. Close, R. K (2021) *Buckley, Batman & Myndie: Echoes Of The Victorian Culture-Clash Frontier*, BookPOD

⁴ A brief description of squatting on Charlotte Plains is given in Thomas Francis McBride, *Letters from Victorian Pioneers*, William Heinemann: Melbourne, 1898 edited with an introduction by C. E. Sayers Melbourne 1969, pp. 301-306 and Robert Spreadborough and Hugh Anderson, Red Rooster Press: Maryborough, 1983, p.157. For a generalized map of the Victorian vegetation in 1851 see Ham's squatting map of Victoria.



Charlotte Plain homestead, built 1843-1846. (From Yuille Family History)

Even before the arrival of the squatters in the 1840s, the Dja Dja Wurrung had experienced two major catastrophic outbreaks of disease that decimated population numbers.⁵ The first spread overland from Sydney in the 1790s and a further major outbreak occurred in 1830. Squatters in the Maryborough District commented on the small numbers of aboriginal people and disease unquestionably aided them in their seizure of land. Until 1830 authorities in Sydney attempted to limit settlement to 23 counties surrounding Sydney. Demand for wool in industrialising England rendered this a futile order and squatters, like the Simsons, reacted to this demand by illegal occupation of indigenous land.⁶ This was given official sanction when annual licences, based on the livestock carrying capacity of runs were introduced. In the mid-1840s the too rapid expansion of the frontier resulted in reckless speculation in land and stock. An economic depression in the mid-1840s stalled this expansion and left many pastoralists in a parlous economic situation. Their problems were compounded when the Governor in NSW attempted to introduce new and more expensive land rules. Squatters protested to officials in London. And in 1847 Orders in Council divided Victoria into settled, intermediate, and unsettled districts.⁷

Located in the unsettled districts, squatters in the Maryborough region under the orders were offered long term leases of 12 years and the option of purchasing 640 acres as a homestead block. Charles Joseph La Trobe, the Lieutenant Governor of the Port Phillip district and first Governor of Victoria, while permitting the purchase of homestead blocks, was loath to grant leases. Fearing the transfer of large sections of land into squatter freehold he also determined to use section 9 of the orders to keep land in public hands. Under his interpretation of this section, La Trobe exercised the power to authorise the sale or lease of land 'for public purposes', or disposing of in a manner that 'may seem best' for the public interest. The orders specifically listed such uses as churches, schools, parsonages, roads and railways, public buildings, land 'of use or benefit of the aboriginal inhabitants of the country', places for the internment of the dead and places for recreation and amusement of inhabitants. The section also made provision for land for mining and defence. By 1851 a vast area of 275,874 hectares was gazetted for townships. When gold was discovered in 1851 the process of declaring townships was accelerated and La Trobe and his land surveyors had the ability to make land available on goldfields.⁸

Gold was discovered on the Charlotte Plains pastoral run along the course of the Four Mile Creek in May 1854, and by August one estimate of the goldfield population was 15,000. Although the field was described as dull in the following November, gold dominated the area that became the road district of Maryborough in 1857 and a borough in 1863. However, the urban area of Maryborough was part of a regional gold producing area that included the centres of Amherst, Avoca, Dunolly,

⁵ For the DjaDja Wurrung see Bain Attwood, *The Good Country: The DjaDja Wurrung, The Settlers and Protectors*, Monash University Publishing: Melbourne, 2017.

⁶ For the decision not to recognise indigenous ownership see James Boyce, *1835: The founding of Melbourne and the conquest of Australia*, Black Ink: Melbourne, 2011.

⁷ For the pastoral settlement of Victoria see A.G.L. Shaw, *A History of the Port Phillip District: Victoria Before Separation*, Melbourne University Press: Melbourne, 1996.

⁸ The administration of public land in Victoria is told in R. Wright, *The Bureaucrats' Domain: Space and the Public Interest in Victoria, 1836*. For the orders in council and the early history of reserves see Chapters 2 and 3.

The Orders in Council governed land administration in Victoria up until the passing of the Nicholson Land Act in 1860. This bill had been pushed by democratic former diggers looking to break the land monopoly of the squatters. In this respect the bill was largely a failure and through the 1860s the legislature experimented with a series of land bills. The culmination of these was the 1869 Land Act which was largely successful in sponsoring widespread agricultural settlement.¹² The same democratic ethos that governed the search for land settlement was also applied to the continuing provision of land for public purposes, and all land acts from 1860 on contained provisions for public amenity. In Victoria the provision of recreation reserves followed this democratic model with parks provided for general public use.¹³ In the early 1860s minor additions were made to the recreation reserve, and under Victorian land acts an area 5 hectares was permanently gazetted as a public recreation reserve in August 1864. The area was named Prince's Park in honour of Queen Victoria's son, Edward. In January 1862 the council made application for a further 28.3 hectares of parkland and once again demonstrated the loyalty of the Maryborough population in naming this area Royal Park.¹⁴

The creation of the Prince's Park owed much to the mining base of Maryborough. The reserve was located on a section of the main mining lead that had been reserved from town subdivision as it was auriferous. As gold along this shallow alluvial lead was exhausted more land was potentially available for reservation. From the mid-1870s the council began a process of seeking to extend Prince's Park. As the Park had been subject to mining it was also in need of extensive remediation.

By August 1863 the council had expended £320 on enclosing the park with a 'close fence six feet in height' and 'about £50 extra in planting trees within the reserve with wire guards'. These were necessary to protect the reserve from livestock which roamed across the old mining land. In 1869 the Town Clerk wrote to the Botanical Gardens requesting that 62 trees to be planted in Prince's Park of a 'most suitable ornamental and umbrageous description'. Under a 'skilled gardener' the council intended to set aside a day to plant these trees and in a 'spirit of emulation' residents would be encouraged to tend these trees. In addition to the purchase of these trees the Council requested an immediate selection of suitable trees for planting including two Norfolk Island Pines.¹⁵

In extending the reserve the council had to deal with the objections of the Mines Department and residents who were occupiers of Crown land. In its initial application to extend the park to the east in 1876 the Council assured the lands officials that this area was not likely to be needed for the extension of the town 'for a very long time to come'.¹⁶ More difficult was dealing with the issue of mining. It was another five years, in December 1881, before the Mining Board recommended the withdrawal of the mining objections to the occupation of the land applied for by the council. It did have a rider that this was subject 'to the rights of the miners to be allowed at any time to enter and mine upon the land without payment'.¹⁷ And on top of this, under the Mining Act of 1855, the famous Miner's Right permitted miners to erect dwellings on Crown land. In March 1882 the Crown Lands Bailiff reported that there were eleven Chinese huts each on three quarters of an acre. While only two of these were dwelt in, there were also four Europeans residing on the land.

The schedules compiled by the council to provide compensation for these dwellings give a tantalising glimpse of how Crown land was used in Victoria to provide cheap housing. Among the structures were:¹⁸

¹² The classic account of land settlement is J. M. Powell, *The Public Lands of Australia Felix: Settlement and land appraisal in Victoria 1834-91 with special reference to the Western Plains*, Oxford University Press: Melbourne, 1970.

¹³ Wright, *Bureaucrats Domain*, pp.126-132.

¹⁴ The additions to Prince's Park are detailed in the Reserve file.

¹⁵ Reserve file, 3 June 1869.

¹⁶ Reserve file, 27 July 1876.

¹⁷ Reserve file. 16 December 1881.

¹⁸ Reserve file, 13 April 1882.

John Davis (carpenter) held under miners right and garden licence weatherboard home & iron roof 20[feet] x 21 [feet] floored	£35
Back shed weatherboard 12X 8 & other sheds	£5
10 chains of fencing	£5
Underground cemented brick tank	£12
51 fruit trees etc @2/-	£5/2/-
Total	£62/2/-
An Goon -Chinese garden licence	
Small Paling hut 12 x 8 and ¾ acre of vegetable	
Twig fence (useless)	£10

Despite the objections of one of the Europeans, the Council eventually negotiated compensation for improvements and 59 acres was added to the park in July 1882.¹⁹ However, the land was still subject to possible occupation by miners. A formal grant was delayed until February 1895.

- **Title:**
Maryborough, Parish of Maryborough, County of Talbot [cartographic material] / photo-lithographed at the Department of Lands and Survey, Melbourne, by T. F. McGauran.
- **Author / Creator:** Victoria, Department of Crown Lands and Survey.
- **Publisher:** Melbourne : Dept. of Lands and Survey
- **Date:** 1905
- **Title:**
Maryborough, County of Talbot [cartographic material] / photo-lithographed at the Department of Lands and Survey, Melbourne.
- **Author / Creator:** Victoria, Department of Crown Lands and Survey
- **Publisher:** Melbourne : H. J. Green, Govt. Printer
- **Date:** 1938

Prince's Park and the community

From its inception Prince's Park in Maryborough became a centre for civic celebration and recreation. The discovery of gold transformed the population of Victoria and for a decade this colony was a major destination for migrants from the United Kingdom, continental Europe and China. In 1861 the town of Maryborough was home to settlers principally from the United Kingdom – the English, the Scots and the Irish, settlers from the German states and Chinese settlers. Although the early gold diggers were predominantly male, there was from the very beginning a significant minority of women settlers, around one quarter, and in the second half of the 1850s government policy favoured the migration of single women. In the late 1850s female settlers demonstrated an extremely high marriage rate and this in turn led in the 1860s a high birth rate. By the end of the 1860s the goldfields towns housed a large population of Australian born children.²⁰ For migrants, and even for their children, 'home' often remained overseas. One of the strongest public expressions in the nineteenth century was a celebration of home and for, particularly, the English and the Scots loyalty to the Crown and Empire became a badge of local honour. Prince's Park became a centre to acknowledge home and the Crown.

¹⁹ Reserve file, 10 July 1882 and Government Gazette 1 February 1895.

²⁰ For the demography of goldfields towns see Charles Fahey and Alan Mayne, *Gold Tailings: Forgotten Histories of Family and Community on the Central Victorian Goldfields*, Australian Scholarly Press: Melbourne 2010, see Chapter 1.



Children playing- formation style
in front of the Grandstand.
State Library of Victoria.

The picket fence in front of the
Grandstand can be seen in the
lower part of the photograph. this
was replaced in the 1930s as a
sustenance working programme.



May Day celebrations
with children 1905
State Library of
Victoria

Betty Osborn and Trenear Du Bourg wrote that a Highland Society was conceived of as early as 31 December 1856 and 1 January 1857, less than two years after the discovery of gold. It was not until twelve months later that first Highland Games were staged at Prince's Park. By 1860 the *Advertiser* boasted that at one stage during the new year's day festivities the park held 3000 participants and spectators, and visitors came from as far away as Bendigo.²¹ The Highland Games became an annual event and are probably one of the longest running extant public festivals in the English-speaking world.²² Scottish migrants were drawn to the goldfields as much from the industrialising lowlands as the high lands; the Irish on the other hand were almost all from rural backgrounds. For the Irish, Prince's Park was the centre for the annual St Patrick's day celebrations. For the English, the largest national group on the goldfields, displays of national pride were more subdued. An obvious way to express national pride was to test oneself against visiting teams of English cricketers. The first test of cricketing skill against England took place as early as January 1864 when a local 22 played a visiting England 11. The locals were no match for the visitors. The England 11 batted once for a score 223 all out, while the local 22 batted twice for 72 and 76 runs.²³ From a modern perspective, one of the less appealing aspects of Australian society in the nineteenth century was a growth in imperial and royal loyalty. As early as May 1863 the park was the centre of royal celebrations when the citizens of Maryborough celebrated the wedding of the Prince of Wales to Princess Alexandra. The occasion was marked by the planting of two oak trees. Such displays of loyalty paid little regard to the tragic fact that the spread of the Empire into Victoria resulted in the dispossession of the Dja Dja Wurrung.²⁴

²¹ Osborn and DeBourg, *Maryborough*, pp. 156-159.

²² The Highland Games have a longer history for example than the Bendigo Easter Fair which was commenced in 1870.

²³ Osborn and DeBourg, *Maryborough*, pp.150-152.

²⁴ Osborn and DeBourg, *Maryborough*, p. 260.

From the early 1860s through the 1870s and 1880s Maryborough and district settled into the industrial process of winning gold from deep leads and quartz reefs. This industry left the signs of industrial processes. Local boosters could take pride in the engine houses and flues that demonstrated to visitors modern mining methods that could win gold from quartz reefs and pump out ancient rivers to remove alluvial gold. There was, however, environmental costs of these activities. Prince's Park was gazetted on the edges of the Four Mile Creek. In the earliest phase of alluvial mining this was worked over to win gold. Eventually part of the creek was dammed to provide water for mining. Quartz reefing and deep lead alluvial mining scared the landscape with ugly tailings dumps, and deep lead alluvial mining consumed prodigious quantities of timber to fire boilers to pump ancient rivers and to secure working places amidst the alluvium of the buried rivers. Miners themselves lived in humble weatherboard houses on Crown land. From 1871 through until 1901 miners were around one third of the householders in the Borough and their houses were modest. The annual net value of miner's cottage in 1891 was just under £11 compared to £25 for a worker's cottage in South Melbourne. Maryborough cottages were generally lined with canvas and paper and roofed in iron to catch water. In summer they were unbearably hot and in winter wind howled through insecure weatherboards and blew interior canvas and paper walls.²⁵

Softening the impact of mining

In the harsh mining landscape of Maryborough public parks were an obvious means of providing civic amenity. Fortunately for local residents the council recognised the importance public spaces and sought to increase and improve these during the late 1860s through the 1880s. In 1869, the Council, as we have seen, inaugurated the setting out of a plantation in Prince's park. Tree planting was also initiated in other areas of the town.²⁶ As early as 1860 the council purchased a mining dam located in section 46 in the heart of the town for a supply of water for horses and firemen. When a Goldfields Reservoir was constructed in 1862 this dam was redundant. In March 1861 Cr Dan Taylor moved that a reserve for the dam be applied for. This was seconded by Cr Garland and carried. This provided an area of just over one and a half hectares, and in 1872 the council decided to turn this into a botanical reserve. The town clerk wrote to the Lands Department that from a 'sanitary point of view' the council was 'anxious to have an open piece of ground in the heart of the town and to plant along the course of the main drain to avoid the unsightliness which marks it at present'. Between June and July 1875 trees were planted around the boundary of the former dam reserve and attractive rows of trees marked the entrance in Alma street. In November 1878 the *Maryborough and Dunolly Advertiser* proudly proclaimed:²⁷

The municipal reserve situated in Inkerman street, is now becoming a favourite resort on Sundays. The lake, with its Pretty Little island thickly planted with willows, and the black and white Swans sailing majestically along, combined with the neat and tasty appearance of flowers, shrubs and trees, growing within the reserve, makes it one of the most pleasant promenades within the borough at the present time.²⁸

The following year the area, known as Philips Reserve, was gazetted as a Botanical Reserve.

²⁵ These observations are based on an analysis of the Borough of Maryborough Rate Books, VPRS 11153, P0001, Units 8,11, 21 and 32. For comparison with working class Melbourne see the City of South Melbourne rate books, VPRS, 8264, P0001, Unit 37.

²⁶ Osborn and DeBourg, *Maryborough*, p. 167.

²⁷ *Ibid.*, pp. 262-263.

²⁸ *Maryborough and Dunolly Advertiser*, 25 November 1878.



Extension to the Park 1880s

Having acquired an extension to Prince' Park, the Council also set about improving this public resource. The removal of residences was the first task of remediation, but eradicating the scars of mining extended through the 1880s. At the first meeting of the Maryborough Borough Council for 1883 it was resolved that a lagoon should be formed in Princes Park. Prisoners from the colonial gaol were dragooned into excavating a lagoon with an embankment formed from the excavated material. The plans drawn up by Fred Hughes, the Town Clerk, envisaged a lake a quarter mile long with an area almost equal to Lake Weeroona in the larger mining city of Sandhurst (Bendigo); Maryborough was not to be outdone by a rival mining community. The council also received advice in February 1883 from one of the finest colonial landscape gardeners, W. R. Guilfoyle, curator of the Royal Botanic Gardens, Melbourne. Guilfoyle laid out an area surrounding the lake, and made diagrams of where the paths and a bridge should be placed and recommended which flowers, shrubs and trees should be planted. He further proposed that to beautify the lagoon at least two islands should be placed in it.²⁹ During the construction of the lake concern was raised about the justice of using prisoners to carry out the works. To allay such doubts official permission was given by the colonial government to use prison labour. Although the lake was completed in 1885, filling of the lake was not completed until winter rains in 1887, and in time for the loyal citizens of Maryborough to celebrate the 50th anniversary of Queen Victoria's reign. In her honour it was named Lake Victoria in June 1887.³⁰

Maryborough Grandstand and the growth of organised sport

These improvements no doubt reflected the pride of the borough councillors and other town worthies in the achievements they had made in creating a town in the space of just over a generation. As citizens, these men, and at this stage women had little public say in civic life, had seized the opportunities created by the liberal constitution of Victoria to play an active part in public life. It was a part that was denied many of their contemporaries at home, where political life was less democratic.³¹ The park was also a reflection of a new type of society where citizens had more leisure time and could spend this in public spaces and engage respectable behaviour. A reflection of this new society was the growth of sport. And few buildings reflect this more than the grandstand erected in Prince's Park in 1895.³²

²⁹ Council Minutes February 1883.

³⁰ Osborn and DeBourg, *Maryborough* pp.286-287.

³¹ For the radical liberal politics of Victoria in the wake of the gold rushes see Stuart Macintyre, *A Colonial Liberalism: The lost World of Three Victorian Visionaries*, Oxford University Press: Melbourne, 1991.

³² For the rise of leisure see Margaret Olive Indian, "Leisure in City and Suburb: Melbourne 1880-1900", unpublished PhD Australian National University, 1980.



Old timber Grandstand at Princes Park, 1880s.

State Library of Victoria

The Maryborough cricket club was instrumental in the formation of the Maryborough recreation reserve in 1857. In a small town before the introduction of the automobile permitted easy intertown travel the development of an enduring competition was difficult. Cricket teams struggled in Maryborough. By the 1870s cricket had a major competitor for the sportsman in the recently codified game we now call football or Australian Rules. This game grew in both the suburbs of Melbourne and the goldfields towns, and even land selectors, struggling to clear properties, found time to play football. Football, like the Victorian society was democratic and unlike the wider society non-sectarian; it was played in the private schools of Melbourne - Scotch College (Presbyterian), Melbourne Grammar (Anglican), Wesley College (Methodist) and Xavier College (Catholic). The gentleman of Melbourne University had teams, as did the clerks in the railways or mercantile offices, and the more-humble shopmen in the developing department stores. Most importantly it was played by suburban factory workers and by mine workers on the goldfields. Women very early on became avid fans. In suburban Melbourne and the larger goldfields cities leagues were formed from the 1870s. In smaller communities less formal structures governed local competition, and matches were frequently played by arrangement between teams without formal home and away fixtures. The institution of half holidays, with differing occupational groups observing differing days off, made it difficult to organise competitions. In mining communities shift work offered another difficulty.³³ Maryborough, despite the popularity of football, could not develop a viable league in the nineteenth century.³⁴



Princes Park Grandstand Highland Games circa 1900 (SLV)

In the late nineteenth and early twentieth centuries the rise of mass spectator sport led to the proliferation of a new type of public building: the sports pavilion. As formal leagues were developed

³³ For a history of Australian Rules see Leonie Sandercock and Ian Turner, *Up Where Cazaly: The Great Australian Game*, Granada Publishing Limited: London, 1981.

³⁴ For the development of football in Maryborough see Osborn and DeBourg, *Maryborough*, pp. 346-48

in Melbourne and in goldfields cities most clubs played on municipal ovals that were part of recreation reserves. Local councillors were often keen members of clubs and they sponsored the building of grandstands and change rooms. Despite not having a solid local cricket or football competition Maryborough Borough Council called for a report on the probable cost of a grandstand in 1892. There was an existing pavilion which was considered unsatisfactory and when eventually sold realised just £10. The council was impressed by a grandstand that had been built in 1888 at South Melbourne at a cost £800 to £1000 and could seat 800.³⁵ In January 1894 they mayor, Cr J H Gearing, moved that a new grandstand was required in Princess Park. He proposed that councillors should visit the park to choose a site for the pavilion. His motion was seconded and carried with little debate.³⁶

In the 1890s this was a brave move. The rise of football in Melbourne in the 1880s had taken place during a period of rapid economic and population growth. From the early 1890s this growth stalled and then collapsed in 1892-93.³⁷ Throughout 1893 unemployment was widespread in Melbourne and banks and other financial institutions faltered and failed. In this grave economic climate, the Maryborough Borough Council agreed in February to float a loan through the issue of debentures at the rate 5 per cent per annum, a power granted under the Local Government Act of 1890. The meeting also carried a motion to draw up plans and specifications and determine costs of a permanent grandstand.³⁸

Floating a loan during the depression had serious problems. Avoiding bad advice was necessary. In May the notorious land boomer George Meudall, the author of the splendidly titled *The strange career of a spendthrift*, wrote to the council and offered his services in floating loans. The council was cautious and went their own way. Initially they proposed raising a loan of £1000 by issuing ten debentures at £100 each. In the straitened circumstances of the 1890s this was too ambitious, and it was eventually agreed that 40 debentures of £25 would be offered.³⁹

The depression provided a buyer's market for architectural services. In March 1894, in an unsolicited letter to the council, Mr GR Johnson offered his services to the council as an architect. Wisely the Council employed the firm of Thomas Watts and Son who sent sketches for the proposed stand in June.⁴⁰ Thomas Watts arrived in Victoria in 1853, aged 26 with his wife Martha and infant son. On leaving Bristol Watts, who styled himself a gentleman, had intended to settle in Sydney. The lure of the young gold colony proved too great and he disembarked at Melbourne. In 1856 he was one of the founders of the Institute of Architects and its first Honorary Secretary. How Watts received his training is not clear. He is listed in the 1851 England Census as a maltster and an architect. His father was listed as a publican and it may be that Thomas worked for his father while obtaining his architectural training. In the same house a Martha Salter is listed as a visitor; she and Thomas married two years later and together they migrated to Australia. Thomas served as President of the Institute of Architects in 1884-85 and again in 1900. The Victorian Heritage Register list four significant buildings designed by Watts Bontharambo homestead (1858), factory buildings built 1872 that eventually became part of the Colonial Refinery at Yarraville and three substantial boom-time houses: Crammond House (1888), Dalmeny House (1888) and Malvern House (1891-92). This gives little real indication of the scope and duration of Thomas Watts' practice. It is clear, however, from the numerous tender notices that he placed in the press that he had a successful business. When he died in 1915 his estate was valued for probate at a very comfortable £19456. This was apparently the first

³⁵ Osborn and DeBourg, *Maryborough*, pp. 326-27.

³⁶ Council Minutes, 25 January 1894.

³⁷ For the 1880s boom and the 1890s depression see Graeme Davison, *The Rise and Fall of Marvellous Melbourne*, Melbourne University Press: Melbourne, 1978.

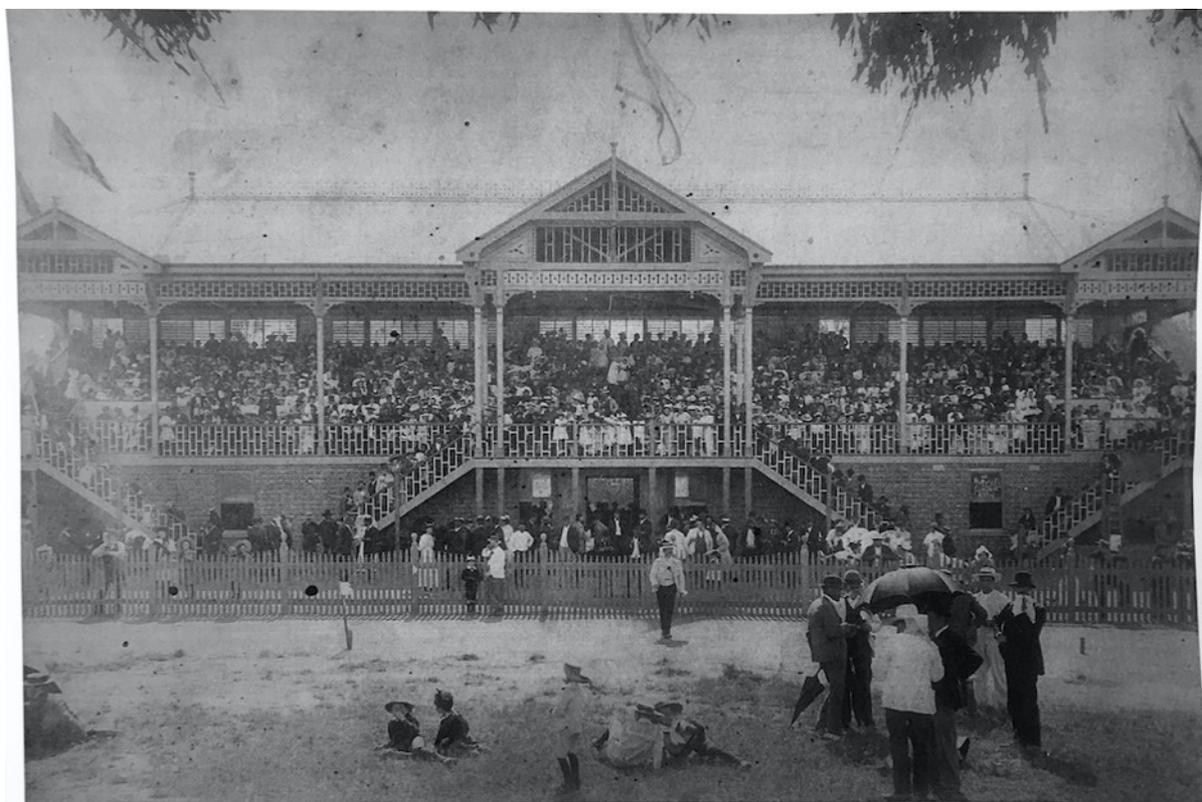
³⁸ Council Minutes, 1 February 1894.

³⁹ Council Minutes 1, 15 March 1894, 2 May 1894.

⁴⁰ Council Minutes 21 June 1894.

sports grandstand that the firm designed, and they drew inspiration from a design of 1886 by William Elliot Walls for a grandstand at South Melbourne.⁴¹

By early August the debentures had been tendered for and the council put out the building specifications for tender. At the meeting where this was agreed, the Mayor informed the councillors that he had received a petition on the grandstand. This he observed had not been ‘couched in respectful terms or in proper order’ and he had taken no notice of it.⁴² A further possible impediment to the completion of the building was a motion by Cr Geary that in all contracts a minimum wage should be set. In the depressed 1890s and in a largely working-class community, this was a critical issue and it evenly split the council. The mayor, who had initially voted against the motion, used his casting vote against the proposal.⁴³ The tender was hotly contested, no doubt another sign of a depressed building market. No fewer than 19 tenders were submitted ranging from £2500 to only £1153/16/-, with most several hundred pounds more than the lowest tender. The council took the lowest tender by a well-known local builder William Dingle. This appears to have caused some consternation from the losing contractors and House Builders and Contractors Association wrote to the council asking for an explanation on how the contract was let.⁴⁴ Yet despite these reservations the project was quickly completed and cost just over £200 more than the quoted price and less than any of the other unsuccessful tenders.



New Princes Park Grandstand 1894 (State Library of Victoria and kind permission of the Maryborough Midland Historic Society)

The Grandstand becomes a community asset

The Maryborough Grandstand quickly became an important and well patronised public asset. Although sports clubs were the obvious groups making application to the council for the use of the

⁴¹ Victorian Heritage Data Base – Princess Park. Death Certificate 1915/1244, probate inventory VPRS VPRS 28/P2/513/file 137/802, probate will VPRS 7591/P2/523/file137/802. England Census 1851 HO 107/1958

⁴² Minutes 16 August 1894.

⁴³ Minutes 21 September 1894.

⁴⁴ Minutes, 4 October 1894.

grandstand and the park, the reserve also attracted many non-sporting groups and this patronage reveals much about the strength of self-help, communal and religious groupings in the late nineteenth century. Cricketers were instrumental in the formation of a recreation reserve in the late 1850s and when the stand was built they made regular application to the Parks Committee to use the ground for their regular summer season and for special occasions such as Easter games.⁴⁵ In a similar fashion football clubs also wrote to the committee for use of the oval and grandstand. One of the fads of the late nineteenth century, made possible by early mass production manufacturing, was bicycle riding and racing. The cycle club were also regular users of the Park.⁴⁶

By the 1890s when the Grandstand was constructed many of the gold rush generation had retired, moved out of the borough or died. The mantle of keeping alive old national identities fell to a younger generation. With the construction of the Grandstand the committee of the Highland Sports Committee became regular correspondents with the council as they applied annually to hold their New Year's Day Sports.⁴⁷ So also did the St Patrick's Day Organising Committee apply for the Park every 17th of March.⁴⁸ Religious groups also used the Grandstand and Park. In Victoria's mining communities, due to a large extent to migration from Cornwall, Methodist churches were numerically strong. In November 1898 the Primitive Methodists, a denomination popular with miners, made application to use the park. Churches with more established traditions, such as Anglicans and Presbyterians, also used the park.⁴⁹ In the second half of the nineteenth century, Yankee preachers toured the Australian colonies and used the open-air camp meeting to preach their message. And from London, the young and brash Salvation Army took to Australian streets from the 1880s to spread the bible.⁵⁰ They also sought permission to use the Park, which was granted 'with certain conditions' in November 1898. The Park was also employed by charitable groups and self-help groups. In 1899 the United Friendly Societies made application to hold a sacred service in aid of the Ladies Benevolent Society in Easter. A curious coda to this request was the council's note that a deposit should be tendered to cover any cleaning costs. The following year, the Ladies Benevolent Society, made their own application for the use of the Grandstand for their Easter sacred service.⁵¹



Goat Racing Princes Park (kind permission of the Maryborough Midland Historic Society)

Prince's Park in the Twentieth Century

The park before WW1

In 1901 the Australian colonies federated into the Commonwealth of Australia. The years leading up to the Great War were the time when the young Commonwealth built many of the institutions that dominated Australian life well into the twentieth century. Today we look askance at some of these developments, most obviously the White Australia Policy. But other reforms that made Australia an

⁴⁵ Minutes 17/9/1896.

⁴⁶ Minutes 20 July 1899.

⁴⁷ Minutes 3/9/1896.

⁴⁸ Minutes 19 January 1899.

⁴⁹ Minutes 1 October 1896.

⁵⁰ Minutes 3 and 17 November 1898.

⁵¹ Minutes 2 March 1899 and 15 March 1900.

enlightened democracy have prevailed. From 1903 women were given the vote, and before the War the Federal parliament experimented social welfare - child endowment, old age pensions and minimum wages – and our two-party political system was formed. Despite the Federation drought, particularly severe in 1902-03, the years before the War were ones of prosperity. Prince's Park with its well laid out gardens and plantations, and sporting facilities was a material symbol of a prosperous community.⁵²

Visitors to Maryborough made the obligatory visit to the gardens. In the Edwardian years one of the most prominent Australians was Dame Nellie Melba. When Dame Melba visited Maryborough in 1909 it was not questioned that she would be escorted through the park and gardens. Local pride was also fanned when the Mayor of Collingwood and two other councillors came to Maryborough to inspect the grandstand. The Mayor, Mr H Evans, declared there was no other pavilion to match it in the metropolis except the Melbourne Cricket Ground. Returning to Melbourne he and his council organised the construction of similar stand at Victoria Park, which was to become the home of the most successful football club in Melbourne. In 1911 the Highland Society attracted 16,000 patrons and received gate takings of £800. As a sign of modernity 13 special trains as well as ordinary trains transported 4926 visitors to the Park.⁵³ In the Edwardian years only minor changes were made to the Park. A band Rotunda was built in 1905, a delightful timber ticket office was built in Federation style in 1908, and a new turf wicket was trialled in January 1909.⁵⁴ The Grandstand was also used in 1914 for exhibitions of the new fad of motion pictures. When a high school was opened in Maryborough in 1913 the oval was the obvious place for holding sports day in October. Although the school enrolled 55 boys and 49 girls, the former did not take part in the sports.⁵⁵



Collingwood Grandstand Victoria Park designed by Thomas Watts Architects, was based on the design of the Princes Park Grandstand, which was also designed by Thomas Watts Architects in 1895. The Victoria Park Grandstand was demolished in 1968. Allom Lovell (1996) Conservation Management Plan Victoria Park.

The relative prosperity that marked the pre-war years came to an abrupt end when war was declared in 1914. Maryborough's young men answered the call to fight but the impact of the war devastated the town they left behind. During the War, the Commonwealth Government prohibited the export of gold, and mining towns in Victoria faced economic crisis. After the war population declined and there was a need find new industries. In the main the Park continued to serve the community from the 1920s through to the 1950s in much the same way it had done in the Victorian and Edwardian years. The following table gives an indication of the groups making use of the Park in these years. The inter-war years saw two major construction projects – the Memorial Gates and the construction of the Municipal Olympic Pool. The former demonstrated the pride of Maryborough in its contribution to the War and the latter was a defiant symbol of Maryborough's determination to become a modern society after gold.

⁵² For the development of the young Commonwealth see Stuart Macintyre, *The Oxford History of Australia: The Succeeding Age, 1901-1942*, Oxford University Press: Melbourne, 1986.

⁵³ Betty Osborn, *Against the odds: Maryborough 1905-1961* Central Goldfields Shire: Maryborough, 1995, pp. 87, 90 and 94.

⁵⁴ *Against the Odds*, p.95.

⁵⁵ *Against the Odds*. P.45.

Selected Applications to Use Prince's Park	
November 1926-December 1928	July 1945-December 1945
Maryborough Brass Band	St Augustine's Catholic Church
Maryborough Hospital	Maryborough Technical School
Coburg City Band	Maryborough High School
Salvation Army	Presbyterian Sunday School
Bristol Hill Football Club	Maryborough Knitting Mills
Maryborough Cricket Club	Maryborough Cricket Club
Maryborough Football Club	East State School
City Band	Maryborough Highland Pipe Band
Highland Society	Returned Soldiers League Picnic
High School	Argyle Street Methodist Church
Technical School	Communist Party
Mr Lee 'Dancing Reunion'	Highland Society
Mr A Farmer Christmas Concert	Maryborough Citizens' Brass Band
Source: Maryborough Council Minutes	

The memorial gates

In 1917 the Oval was chosen as the site for the 1917 commemoration of the ANZAC landing at Gallipoli and when the Red Cross decided to raise funds for a memorial to the fallen the entrance to the Park was chosen for memorial gates. In 1915 a temporary honour board was erected outside the post office by the local member of Federal Parliament. Although the Women's Patriotic League erected a memorial to those who had paid the supreme sacrifice, the Red Cross determined that the names of all men who had enlisted should be recognised in a fitting manner. They decided that there was no more fitting tribute than to erect honour gates at the main entrance to Prince's Park. In June 1926 the council granted permission for the gates to be erected and, led by Miss Elizabeth Harris, the Red Cross vigorously engaged in raising funds for the gates. On a hot November day in 1928 2000 attended the unveiling of the gates by Major General Thomas Blamey. Among those who attended were 24 members of the Maryborough Old Boys and Girls Association who journeyed by 'motor-vehicle' from Melbourne to the opening. Seeing the monument lit up by floodlights on their arrival it 'represented something unique and wonderful', the like of which was 'not be seen in any town or city in Victoria'.⁵⁶ Almost 100 years on the gates still stand as a tribute to the over 500 men from Maryborough who served in the Great War.



Peace Committee 1919 Princes Park Grandstand
(Kind permission of the Maryborough Midland Historic Society)

⁵⁶ The opening of the gates was described in detail in Maryborough and Dunnolly Advertiser, 12 November 1928.



Photographs of the 1892 original cast iron entrance gates and new Memorial Gates (kind permission of the Maryborough Midland Historic Society).

The Olympic Pool and revival after mining

With the collapse of goldmining during the Great War towns such as Maryborough faced severe economic dislocation. Between the census of 1911 and 1921 the population fell from 5675 to 4744. A palpable symbol of this collapse was the cutting up of miners' weatherboard cottages into sections and transporting them by rail to newly developed agricultural settlements, principally in Mildura. To arrest this decline Maryborough turned to manufacturing.⁵⁷ This was greatly facilitated by the introduction of electricity in 1923, an event that was proudly advertised by lighting up the grandstand with this modern wonder. The great symbol of manufacturing progress was the woollen mill opened in 1923. Pushed by local politicians, the railways also provided another avenue for employment with a railway workshop. In addition, Maryborough businessmen established an engineering and tool works, plaster works, a hosiery factory and a butter factory. These new industries complemented those that had survived from the gold era including: flour milling, chaff and grain works, cool stores, ice works, a cordial factory, furniture and carriage factories. This industrial progress staunchly the loss of population, and by 1933, in the depths of the depression, Maryborough had regained its 1911 population. This growth continued with economic revival of the late 1930s and the Second World War.⁵⁸

For many of the migrant generation of the gold rushes the creation of civic amenities, such as the Prince's Park and the Botanical Reserve, were an essential part of creating a liberal and democratic society in their adopted land. Prince's Park also provided a twentieth century canvas to express civic pride. By the 1920s regional football leagues had been established; from 1923 to 1931 the Maryborough Football Club played in the Ballarat League and from 1932 in the Bendigo Football League.⁵⁹ This enlarged competition provided regular fixtures for the use of the Prince's Park Grandstand. The annual Highland games by the early twentieth century turned half a century and attracted large crowds each year. The grandstand continued to be essential for accommodating spectators. Large crowds also placed pressure on the grandstand and other facilities. Council minutes regularly recorded the need for repairs to both the oval and the grandstand. A necessary sign of the growth in organised sport was the art-deco male toilet behind the grandstand in 1938. The grandest structure of the first half of the twentieth century, however, was the municipal baths opened in 1940. At its opening it was seen as a symbol of the revival of Maryborough post-mining, and a sure sign that borough had adopted modern ways.

The Municipal Olympic Pool was designed by a local architect EJ Peck with engineering support from the city engineers EJ Muntz and J Hocking. Construction commenced in 1939 and was completed in time for the 1940 swimming season at a cost of £8700. The pool was opened by the Lord Mayor of Melbourne, Cr Frank Beaurepaire, a former Olympic champion swimmer and

⁵⁷ *Maryborough and Dunolly Advertiser*, 31 December 1923.

⁵⁸ See 'Maryborough's Industrial Romance, Factories Supersede Gold Mines', *Age* 30 March 1940. For country towns generally see A.J. & J.J. McIntyre, *Country Towns of Victoria: A social survey*, Melbourne University Press (in association with Oxford University Press): Melbourne, 1944.

⁵⁹ *Against the Odds*, pp. 211 and 274.

prominent businessman. In attendance were local businessmen and mayors from Bendigo, Ballarat, Castlemaine and neighbouring shires. Speeches delivered by the hosts and visitors emphasised two major themes: the health-giving benefits of modern filtered and chlorinated pools and the steps the Maryborough had made in encouraging industry to decentralise. At a civic reception before the opening Cr Beaurepaire observed: ⁶⁰

Maryborough deserved congratulations because it was a town which refused to die. Twenty years ago Maryborough was a dying town. He did not know where the inspiration came from, but the town decided upon a policy of decentralisation and carried it out in the right manner. Some industries had been established earlier, but private enterprise had kept the town alive.

In opening the pool Beaurepaire emphasised that swimming was a gentle sport, and he urged his listeners to go swimming in the morning. Swimming he extolled would ‘not hurt them if they did not try to hurt it’. Yet swimming could be an unhealthy sport if done in unhygienic baths and he called the government to invest in modern pools when the war was over.

Although women had always participated in the sports and festivals conducted in Prince’s Park and on the oval, their role was one of spectators rather than participators. The swimming pool signified the changing role of women in the Park. From the 1920s tennis competitions became a permanent feature of the sports programs in the park.⁶¹ This was a sport in which women participated and it was also one in which both men and women played together in mixed doubles matches. The swimming pool, with its emphasis on modernity, made a special feature of the pool’s modern dressing rooms. In its report on the opening of the pool the *Maryborough Advertiser* displayed a photograph of the ladies’ changing room with private cubicles and shower services. The pool also boasted a children’s pool and there was a reduced entry fee for families.⁶² A Hockey and Basketball (netball) Association was formed in 1932 and the increased use of the park by women continued after the Second World War with the growth in the popularity of netball.⁶³



J. N. Cleary, 'Our Illustrations. Maryborough', Weekly Times, 23 November 1895, 11-12 (plus article about Maryborough); Right Bendigo Grandstand c 1909SLV, 1909, H90.140/687.

Difficult times and defending Prince’s Park

The opening of the Municipal Olympic Pool took place just over a year after the declaration of war and, as a sign of the times, the opening ceremony was combined with the handover of an ambulance to the Red Cross. Although Australia’s allies faced major military upsets in Europe, the war by December 1940 had made little impact on Maryborough. The *Maryborough Advertiser* carried regular lists of young men who had enlisted in the Second AIF, and war production had cut unemployment.

⁶⁰ *Maryborough Advertiser*, 9 December 1940.

⁶¹ *Against the Odds*, p. 273.

⁶² *Maryborough Advertiser*, 9 December 1940 for the opening ceremony and 26 November 1940 for entrance fees.

⁶³ *Against the odds*, p 276.

And this occurred after a disastrous drought year in 1938-39. In December 1941 Japan entered the war and won a series of stunning victories in South-Asia. Australia was in dire peril and the Federal Government geared up for total war. Maryborough's industrial enterprises joined this campaign. During the war the Labor government also turned its attention to the post-war world planning for Post-War Reconstruction and 'Full Employment' when the tide of war turned in the favour of the allies. Promoting the manufacturing sector was a major part of this planning.⁶⁴

Due to financial constraints of the depression and the problems of managing the war a census of the population of Australia was delayed from 1933 to 1947. When a count was taken at this latter date the population of Maryborough was 6198, an increase of over 10 per cent from 1933. Over the prosperous 1950s and 1960s Maryborough continued to grow: 6827 in 1954 and 7707 in 1966. This growth was premised on the growth of manufacturing, and at the census of 1966 just over 40 per cent of all employed men and women worked in manufacturing. With the re-structuring of the Australian economy in the 1980s, Maryborough was not immune from de-industrialisation. From 1966 to 1986 Maryborough manufacturing sector declined by almost a half.⁶⁵

This industrial decline and subsequent growth in unemployment had significant consequences for Maryborough's retail sector, and in 1986 the council commissioned an Impact Study. This study concluded that there was a \$28 million leakage from the central business area's trade. The Council's conclusion was that the problems of traffic moving through the city was the cause of the retail decline and a proposal was devised by the City Engineer to divert heavy traffic through Prince's Park and on to Napier St to by-pass the shopping precinct. In the process the memorial gates were threatened, and road widening called for taking land from Phillips Gardens. The Council and its officers underestimated the strength of attachment that had grown in the community through a century and more of use and enjoyment of these two reserves. Moreover, a legacy of the nineteenth century was that permanent reserves could only be revoked by an act of parliament.⁶⁶

In May 1987, when officers from the Ballarat Office of Conservation Forests and Lands pointed out to Council the need for a formal revocation, the Council argued that they had 'spent enormous sums developing and maintaining the recreation resources'. Curiously the Town Clerk appealed to history:⁶⁷

Afterall, the original planners/providers of the Park would expect that changes have to take place, they introduced change to the virgin (sic) land through mining and then creation of formal parkland. This would have been substantial in their day. These early pioneers would, I believe, be supportive of change for the future.

In responding to CFL the Town Clerk also asked vaguely 'if you are aware of [the] significant support for the proposition'.

Such support was not immediately evident. Concerned residents swung into action and quickly garnered widespread support against the bypass. Leading the opposition were members of the

⁶⁴ For post war reconstruction see Stuart Macintyre, *Australia's Boldest Experiment: War and reconstruction in the 1940s*, NewSouth Publishing: Sydney, 2015. For regional planning in the Maryborough district see Resources Survey Loddon Region (Prepared by the Central Planning Authority in collaboration with the Loddon Regional Committee and published with the authority of the Government of Victoria), J.J. Gourley, Government Printer: Melbourne 1952.

⁶⁵ For the population growth of Maryborough see the Census of the Commonwealth of Australia. The censuses can be downloaded at https://www.google.com/url?sa=t&rct=j&q=&esrc=s&source=web&cd=&cad=rja&uact=8&ved=2ahUKEwiC0ru58LwAhUn7XMBHTOrCQcQFjACegQIARAD&url=https%3A%2F%2Fwww.abs.gov.au%2Fwebsites%2Ffcensushome.nsf%2Fhome%2Freference%3Fopendocument%26navpos%3D300&usg=AOvVaw3pR2Lhhfp3_PopyW7WBVGj

⁶⁶ The issue of the by-pass can be followed in the DWELP File RS 4993. The City Engineer tabled a report to Council on 5 May 1986. The Retail Survey was discussed in a special council meeting held on 30 March 1987.

⁶⁷ Letter to Malcolm Lee Regional Manager, Ballarat CFL from R.J. Pekin, Maryborough, Town Clerk.

Maryborough Field Naturalist Club, and they had the support of Clive Stoneham, a former leader of the State Labor Party, and a group called “Save the Parklands” committee.⁶⁸ They were able to point out some of the egregious over-estimates of the loss of trade suggested by the Council’s consultants and they presented a petition of over 1000 signatures to Conservation Forests and Lands⁶⁹. The issue was finally settled at the Council elections in August 1987. The Maryborough Advertiser proclaimed: **Out they go!**. Three councillors were thrown out including a long serving member who would have been mayor after the vote.⁷⁰



Selling Savoy's in front of the Grand Stand and moving Princes Oval 1909. (kind permission of the Maryborough Midland Historic Society).

Registering Prince’s Park on the Victorian Heritage Register

The battle to prevent the bypass was won not through heritage legislation but through the good fortune that nineteenth century legislators had protected recreation reserves through parliament and the mobilization of grass roots protest. In the 1970s and 1980s a strong conservation movement emerged in Australia and this was given formal recognition with the establishment of the Heritage Commission in Canberra (1975), the Historic Buildings Preservation Council in Victoria (1974). In Victoria protection of heritage features on Crown land was recognised by Conservation Forests and Lands establishing an Historic Places Branch. Initially heritage conservation was based on the protection of individual buildings. In the 1990s the protection of landscapes was taken on by heritage officials. In the case of Prince’s Park listing of the grandstand came too late to stop the addition of unsympathetic extension in 1972. Mobilised into action over the proposed by-pass the Friends of the Park protested against plans to redevelop the swimming pool in 1996 and for the construction of a child-care centre in the park in 1997. The following year this group made application to nominate the whole park complex on the Victorian Heritage Register. The site was registered on 20 July 2000 and the Central Goldfields Shire sent a letter of gratitude to the Friends of the Park on 25 August 2000. Any future changes to the Prince’s Park were from then on subject professional heritage assessment guided by a Conservation Analysis & Master Plan.⁷¹ This registration has not prevented ongoing works and since 2000 important works have been undertaken in the park.⁷² Guided by Heritage Conservation practice, Prince’s Park remains a much used and loved part of Maryborough life.

⁶⁸ *Maryborough Advertiser*, 4 March 1987.

⁶⁹ *Maryborough Advertiser*, 1 April 1987.

⁷⁰ *Maryborough Advertiser*, 5 August 1987.

⁷¹ Prince’s Park Maryborough, Conservation Report October 1997. This report was prepared by Eileen Courtney for ‘Friends of the Park’. It was donated to the Maryborough Midlands Historical Society in November 2019. It includes letters post 1997 on the listing of the Prince’s Park. For management of the Park see John Patrick Pty Ltd Landscape Architects Landscape Heritage Consultants, Prince’s Park Maryborough, ‘Conservation Analysis & Master Plan, Prepared for Central Goldfields Shire Council, February 2000’.

⁷² These include: netball and tennis related works (2018 and 2017); works on the pool (2016/17); energy breakthrough track extension, water system, landscaping and seating etc (2016); boardwalk and fishing platform (2012); solar lighting around lake (2009); fencing off main drain (2008/2009); replacement of log seats and tables with heritage style metal and timber units (2004); replacement of Earl Street fence (2004); sprinklers,

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concrete fence posts, repair to grandstand seats and trimming trees (2004); removal of carp and cumbungi, tree planting, rubbish removal (2003); underground powerline along Park Road and revegetation, construction of one hard surface tennis courts, upgrade to area adjacent to pool complex and tennis court area, resurfacing and drainage of main oval, main oval lighting enhancement, establishment of second breakthrough track, refurbishment of ticket box, beautification of south end of lake, and fencing along Park Road (2000).

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4. PHYSICAL DESCRIPTION / ANALYSIS OF FABRIC

The Grandstand Buildings and Structures

Physical Description

The Princes Park Grandstand is a rectangular brick and timber structure, 38.57metres long by 9.83 metres wide and 12.43metres high.

The building can be described as having three structural components. The outer solid brick masonry shell-like structure encloses the ground floor and sub floor area of the raked seating support.

The timber roof structure seats on top of this solid load bearing brick podium, protected on the west elevation by a high 12.43m rear brick elevation, which is approximately two-and-a-half storeys in height. Here the expanse of brickwork is punctuated by large rectangular window and door openings at ground floor level. The third structural component is the timber support to the upper level raked seating. Each of these structural components almost acts independent of each other.

The original timber external stairways were rebuilt circa 1977, when the adjacent Club Rooms were constructed. At this time the lower section of the timber posts were removed and replaced with solid masonry brick walls. All decorative timber balustrading was removed between 1970s to early 2000s.



GENERAL ARRANGEMENT PLAN - ROOF



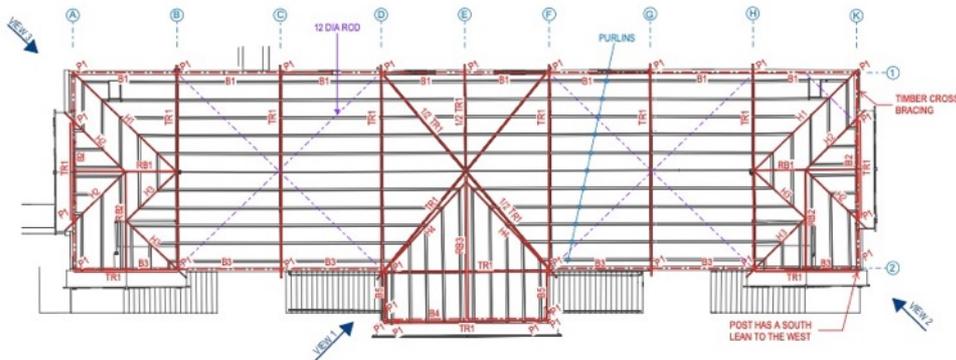
NOTE: FRAMING SIZES HAVE BEEN TAKEN FROM LASER SCAN BUT SHOULD BE VERIFIED ON-SITE

TR1 SECTION SIZES

PRINCIPLE RAFTER	=	242 x 81
TIE BEAM	=	288 x 81
KING POST	=	186 x 81
STRUTS	=	129 x 81

TYPICAL KING POST TRUSS WITH STRUTS TR1

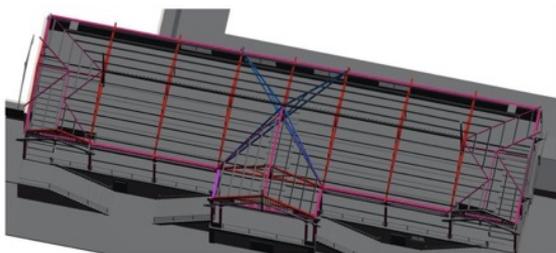
- The struts are connected to king post and top chords (or principle rafters) with mortice & tenon joints.
- The bottom chord (or tie beam) is connected to the king post with steel stirrup strap with what appears to be a gib & cotter. We assume the king post is also connected to the tie beam with a mortice & tenon joint.
- Top chords (or principle rafters) are connected to King post with a two-way steel strap only suggesting these also have a mortice & tenon joints.
- Top chord (or principle rafter) is connected to the bottom chord (or tie beam) with a mortice & tenon joint and tie rod.



FRAMING SCHEDULE

H1	=	139 x 42
H2	=	175 x 46
H3	=	175 x 46
H4	=	170 x 52
B1	=	273 x 100
B2	=	245 x 183
B3	=	245 x 183
B4	=	245 x 183
RB1	=	260 x 42
RB2	=	195 x 50
RB3	=	185 x 42
P1	=	150 x 150

GENERAL ARRANGEMENT PLAN - ROOF



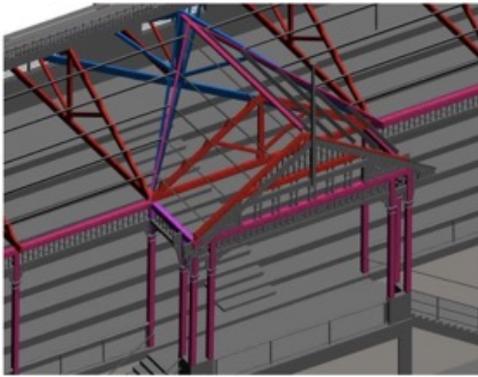
3D PERSPECTIVES FOUR

3D PERSPECTIVES ONE



PRELIMINARY DRAWING
NOT TO BE USED FOR CONSTRUCTION PURPOSES

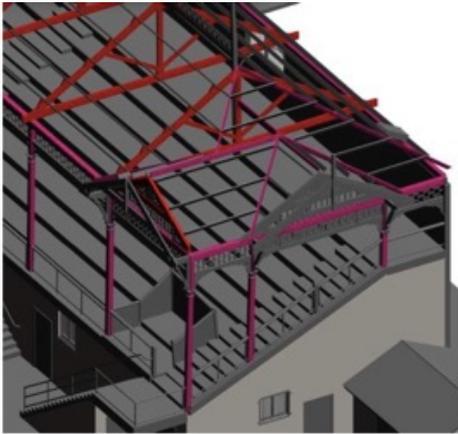
ROOF STRUCTURE: survey and dimension drawings, photographs and structural analysis by CARDNO/TGM Dilapidation Report, James Lversage, Cardno/TGM and 3-D Scan Chris White/Nathan Farrell, Cardno/TGM 17/07/2021



3D VIEW 1



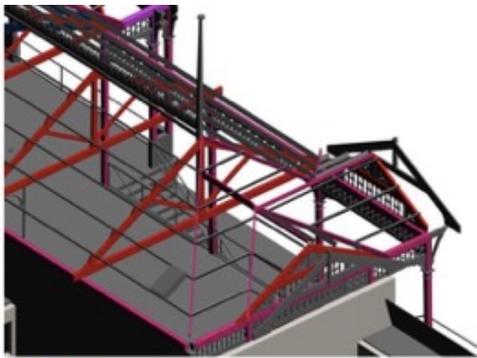
Photo G-FR12



3D VIEW 2



Photo G-FR15



3D VIEW 3



Photo G-FR16

PRELIMINARY DRAWING
NOT TO BE USED FOR CONSTRUCTION PURPOSES

ROOF STRUCTURE: survey and dimension drawings, photographs and structural analysis by CARDNO/TGM Dilapidation Report, James Lversage, Cardno/TGM and 3-D Scan Chris White/Nathan Farrell, Cardno/TGM 17/07/2021

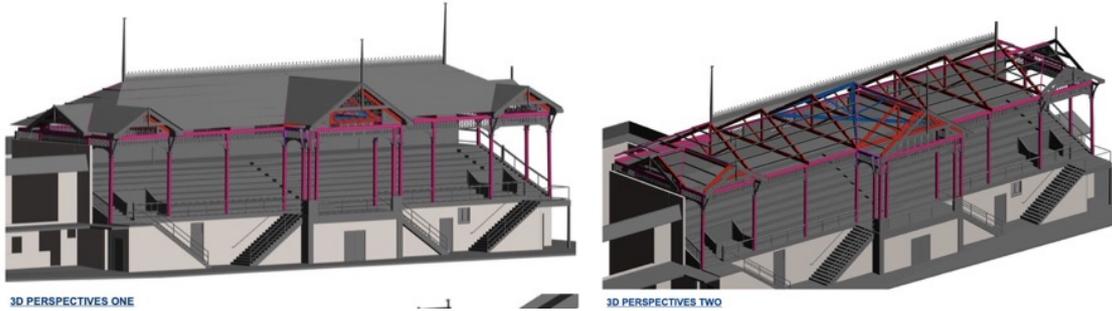


Photo G-FR13



Photo G-FR14

ROOF STRUCTURE/GABLE: survey and dimension drawings, photographs and structural analysis by CARDNO/TGM, Dilapidation Report, James Lversage, Cardno/TGM and 3-D Scan Chris White/Nathan Farrell, Cardno/TGM, 17/07/2021.

The roof structure is made up of a series of timber trusses, timber hip & valley beams with timber purlins supporting metal roof sheeting. The trusses are supported on timber pitching beam over timber posts on the east and west side. Infill masonry has been constructed on the west side. A series of steel rod cross bracing is located for the length of the roof structure at truss bottom chord level.

- The struts are connected to king post and top chords (or principle rafters) with mortice & tenon joints.
- The bottom chord (or tie beam) is connected to the king post with steel stirrup strap with what appears to be a gib & cotter. We assume the king post is also connected to the tie beam with a mortice & tenon joint.
- Top chords (or principle rafters) are connected to King post with a two-way steel strap only suggesting these also have a mortice & tenon joints.
- Top chord (or principle rafter) is connected to the bottom chord (or tie beam) with a mortice & tenon joint and tie rod.



ROOF STRUCTURE: survey and dimension drawings, photographs and structural analysis by CARDNO/TGM Dilapidation Report, James Lversage, Cardno/TGM and 3-D Scan Chris White/Nathan Farrell, Cardno/TGM 17/07/2021



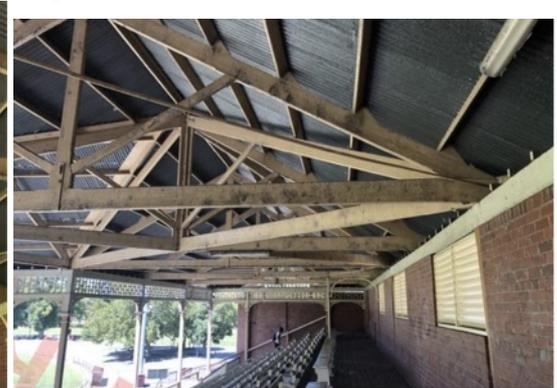
Corrugated galvanized roof sheeting



Corrugated galvanized roof sheeting



Structural timber, series of roof trusses support the main hip and five gables.

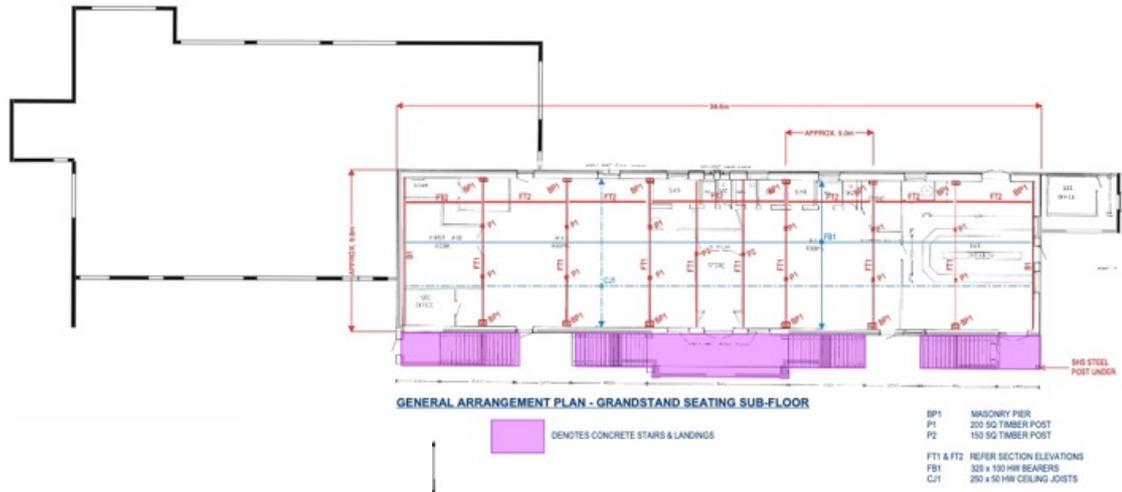


Photographs from CARDNO/TGM 2021.

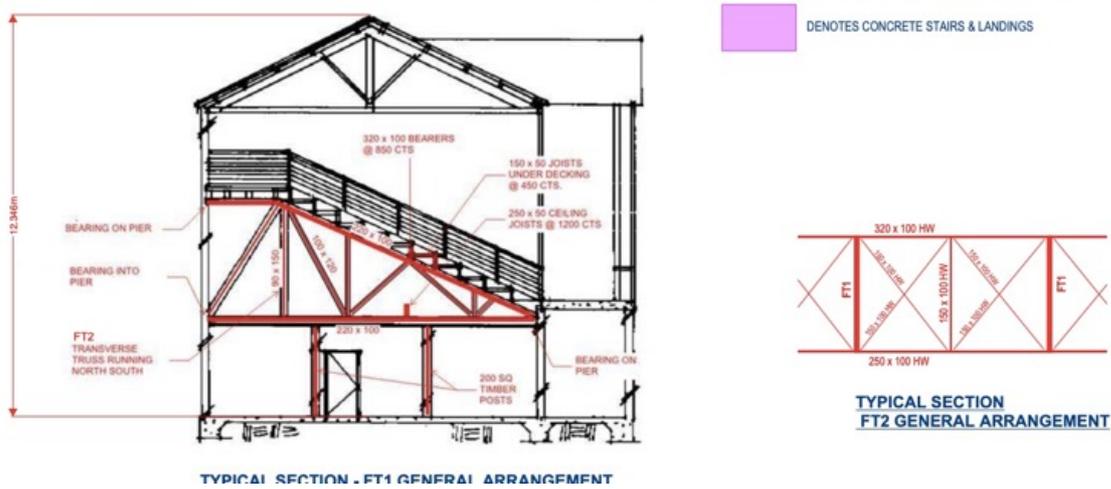
TIMBER FLOOR & RAKED SEATING SUB-FLOOR STRUCTURE:

Survey and dimension drawings, photographs and structural analysis by CARDNO/TGM, Dilapidation Report, James Lversage, Cardno/TGM and 3-D Scan Chris White/Nathan Farrell, Cardno/TGM, 17/07/2021.

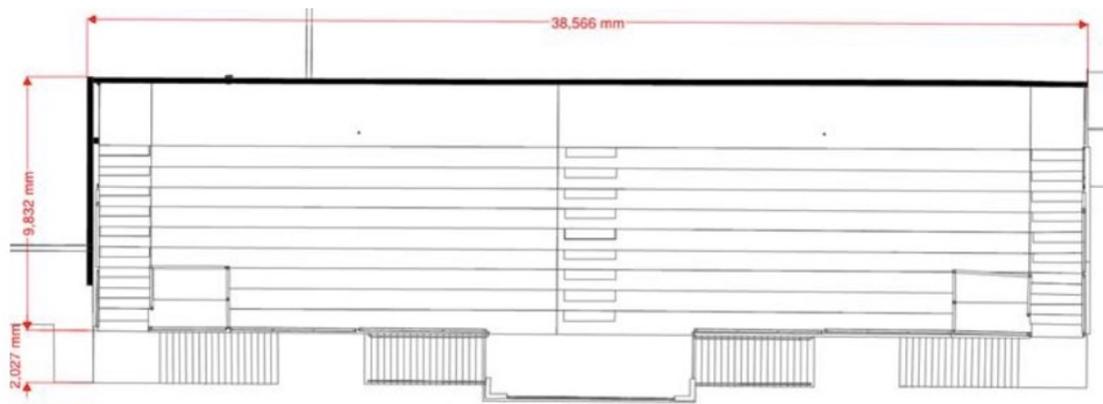
The tiered seating is generally made up of 19mm boards over 150 x 50 HW timber joists in turn supported by 320 x 100 HW bearers. These bearers are then supported on a trussed sub-floor system as shown below. These trusses are spaced at approximately 5.0m centres. The primary sub-floor truss system is then supported on masonry piers each end as well as by intermediate timber posts.



GENERAL ARRANGEMENT PLAN - GRANDSTAND SEATING SUB-FLOOR

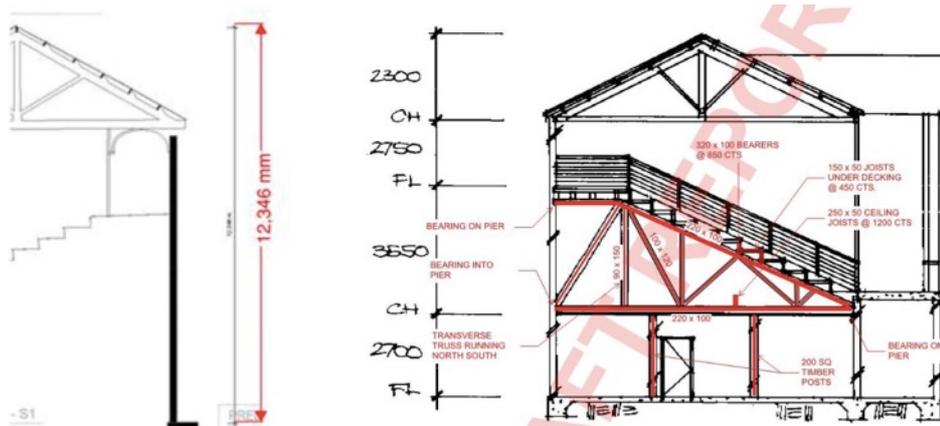


Interior view of the raked seating structure.



Plan of raked seating area in the Maryborough Grandstand with a size of 38,566mm by 9832mm with external brick and concrete stairways of 2,027mm width. There are ten levels and rows of seating, with three timber stairways that divide the timber bench seating into two sections. At the front are two enclosed boxes for officials.

The 1977 Clubrooms extend to the rear of the raked seating area. Future universal access to the grandstand seating via internal lifts located in the 1977 ClubRooms is possible.



Roof design as shown above is known as a King post truss with struts system.

The struts are connected to king post and top chords (or principle rafters) with mortice & tenon joints. The bottom chord (or tie beam) is connected to the king post with steel stirrup strap with what appears to be a gib & cotter. We assume the king post is also connected to the tie beam with a mortice & tenon joint. Top chords (or principle rafters) are connected to King post with a two-way steel strap only suggesting these also have mortice & tenon joints.

Top chord (or principle rafter) is connected to the bottom chord (or tie beam) with a mortice & tenon joint and tie rod.

There is 12 dia rod bracing installed end to end at tie beam level. I don't believe there has been any replacement members however the first trusses in from each end look to have had the king post stiffened / strengthened with an additional post bolted through the original king post.

Single long spans. 150mm x 150mm + 5mm.

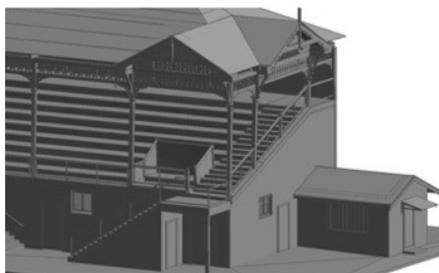
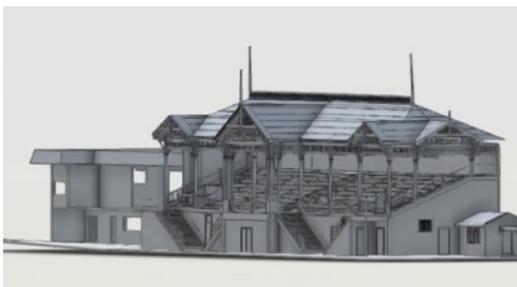
The foundations were not exposed. CARDNO/TGM suggest that the foundations are most likely stone. However, there is a chance that they could be mass concrete as the build date is in line with when the first cement kilns were established in Victoria between 1889-1892.

BRICK PERIMETER WALLS AND STRUCTURE:

Survey and dimension drawings, photographs and structural analysis by CARDNO/TGM, Dilapidation Report, James Lversage, Cardno/TGM and 3-D Scan Chris White/Nathan Farrell, Cardno/TGM, 17/07/2021.

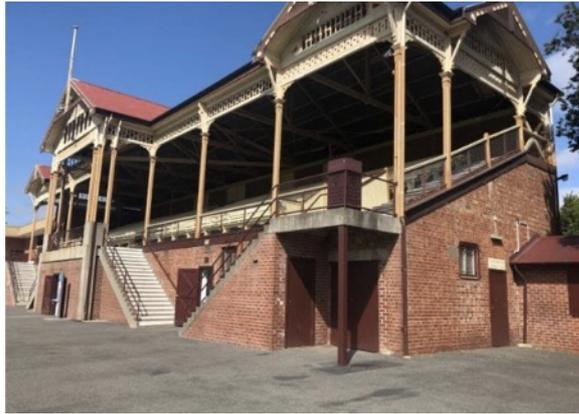
Five windows have been added at the northern end to reflect the addition of the mezzanine floor (c.1940s). A strip of timber louvred ventilating panels runs along this elevation beneath the eaves line. Multi-paned, steel-framed windows with awning sashes sit beneath rendered lintels which run between shallow brick piers. Sills are bullnose profile bricks. Most of the ground floor window openings are screened with Cyclone wire panels. The two side elevations are similarly detailed and characterised by their raked profile which reflects the tiered grandstand seating behind.

The external access stairs to the grandstand are not part of the original build and have been constructed of concrete supported on masonry walls.





The Grandstand 1903 with original timber external stairways and decorative balustrading.



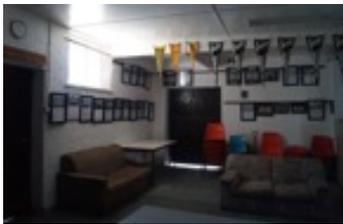
The Grandstand in 2021, replaced enclosed brick stairs and replaced original balustrade and altered fenestration at ground level.



View of the replaced brick and concrete stairway, new doorways and replaced timber balustrading.

INTERIOR GROUND LEVEL CHANGING ROOMS:

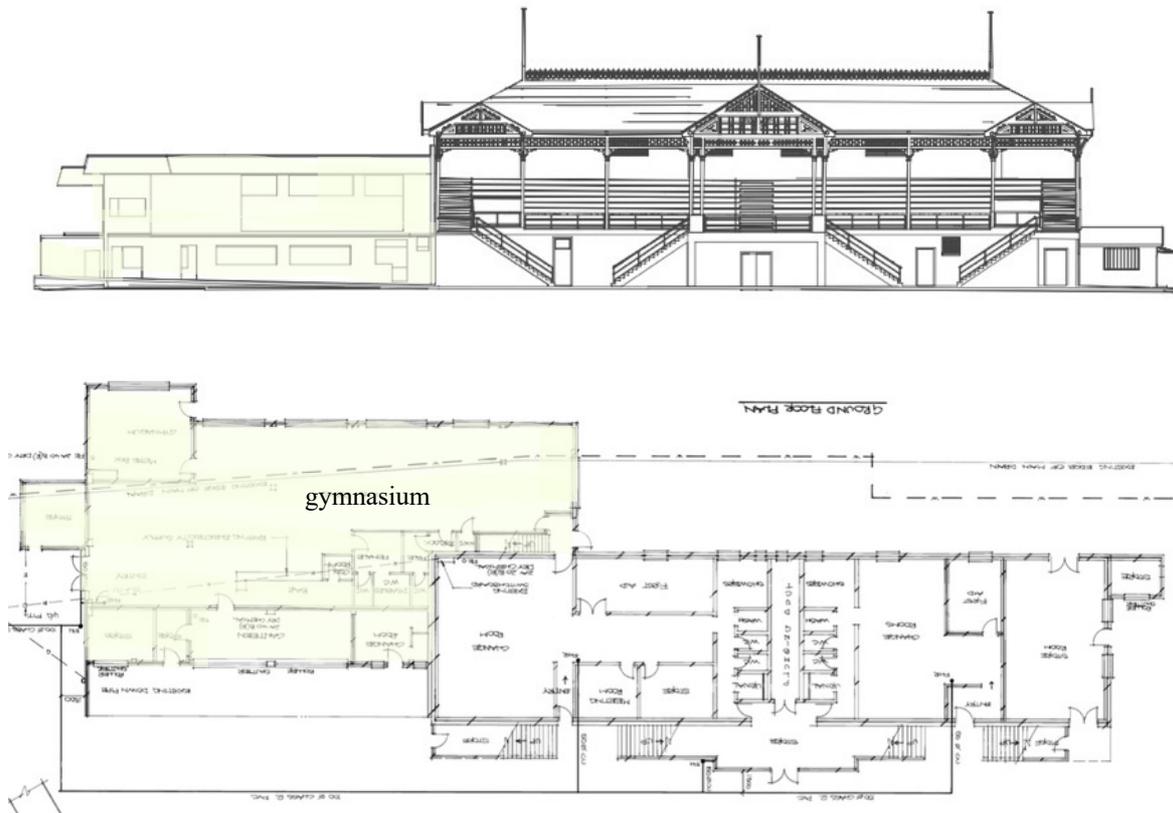
Survey and dimension drawings, photographs and structural analysis by CARDNO/TGM, Dilapidation Report, James Lversage, Cardno/TGM and 3-D Scan Chris White/Nathan Farrell, Cardno/TGM, 17/07/2021.



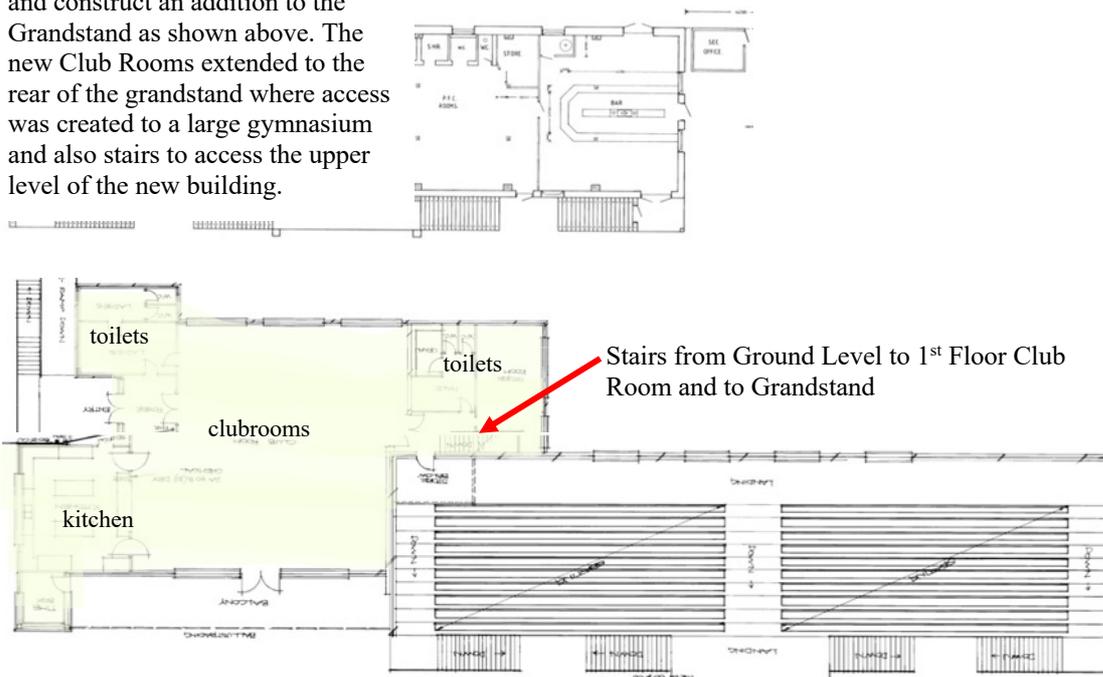
Views of the ground level Changing Rooms.

CLUB ROOMS 1977

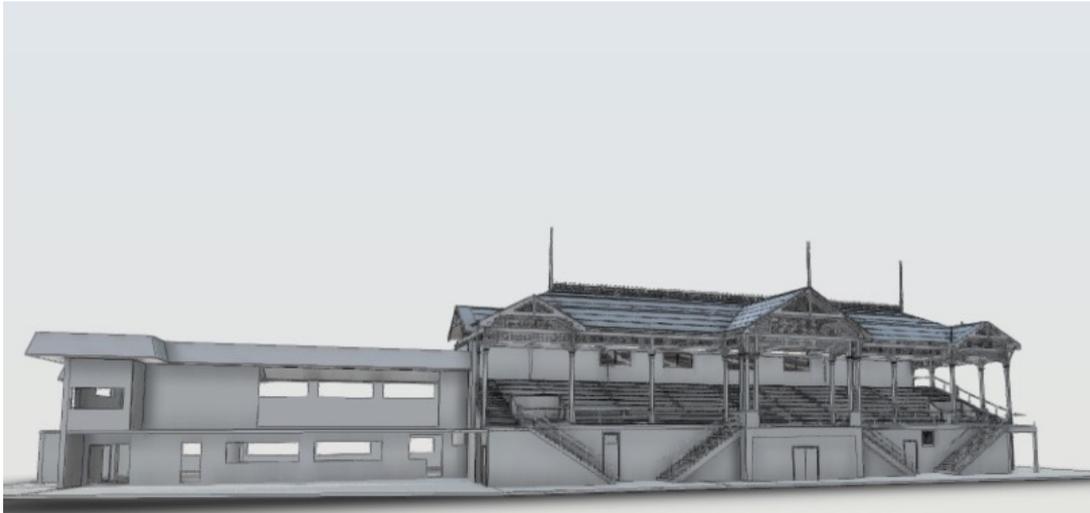
Survey and dimension drawings, photographs and structural analysis by CARDNO/TGM, Dilapidation Report, James Lversage, Cardno/TGM and 3-D Scan Chris White/Nathan Farrell, Cardno/TGM, 17/07/2021.



In 1977 plans were prepared to upgrade the existing lower ground level clubrooms shown on the left and construct an addition to the Grandstand as shown above. The new Club Rooms extended to the rear of the grandstand where access was created to a large gymnasium and also stairs to access the upper level of the new building.



First Level 1977 Club Room and 1892 Grandstand Raked Seating Area



Scan image of the 1977 Club Rooms and the 1895 Grandstand



View of the 1977 new Club Rooms.



The Club Room was designed by engineers, Kinnaird Hill deRohan and Young Pty Ltd, in 1977. The building is predominantly a concrete framed building. The first floor is constructed of conventionally reinforced concrete slabs spanning between concrete 'T' beams supported by concrete columns. Foundations are constructed of reinforced concrete. The roof structure consists of steel purlins supported by a series of steel trussed rafters in turn supported by steel columns. The perimeter wall construction is full (i.e. double skinned) masonry.

The style of the building could be described as brutalism, popular in the 1950-1970s, a utilitarian low cost approach to design that saw, unpainted concrete slabs and brickwork, monotone colours in preference to any decorative detailing. A philosophical approach that promotes simple functional buildings. The engineering firm was one of the most important structural engineering firms in Australia during the 1960s and 1970s, later bought out by Brown and Root/KBR in 1997.

CLUB ROOMS 1977:

Survey and dimension drawings, photographs and structural drawings, Cardno/TGM and 3-D Scan Chris White/Nat

5. EXISTING CONDITION

Grandstand External Framing

With reference to the structural dilapidation Report prepared by CARDNO/TGM Pty Ltd., the following was recorded:

1. The external grandstand framing is in reasonable condition given its age.
 2. The floorboards are showing generally showing signs of typical wear & tear, weathering, splitting, some loose fixings to joists and bowing.
 3. The current paint system to the framing structure is showing evidence of de-lamination in many areas.
 4. Fascia boards at the perimeter edges are showing more signs of deterioration than other areas due to their location and exposure condition. Photos G-FR5 & 6 are typical of the condition of the floorboards throughout the grandstand.
 5. There is a visible lean to the west of the north-east corner post as mentioned under section 3.1
 6. Apart from weathering to the paint coating system, the timber purlins, trusses, hip & valley members and timber framing in general all appeared to be in good condition with no evidence of over-stress or severe deterioration.
- Connector plates at truss nodes appeared to be in good condition also.
 - South-west post showing some evidence of splitting and paint delamination (Photo G-FR1)
 - Damaged / missing flooring board in south-east corner exposing sub-floor under (Photo G-FR2)
 - Typical example of splitting edges (Photo G-FR3)
 - Typical example of weathered floorboards (Photo G-FR4)
 - Deteriorated floorboards to top landing of grandstand – looking north (Photo G-FR5)
 - Deteriorated floorboards to top landing of grandstand – looking south (Photo G-FR6)
 - Spalling & cracked surface to central concrete arches & post plinths (Photo G-FR7 & 8)
 - Roof bracing rods sagging (Photo G-FR9)
 - Typical example of paint weathering to truss bottom chord (Photo G-FR10)
 - First truss in from north end shows a small gap at mortice & tenon joint to strut connection (Photo G-FR11)
 - Visual sag of front central lower beam supporting fretwork (this is generally typical to all the front lower beams) (Photo G-FR12)
 - Paint delamination typically to external fascias and fretwork (Photos G-FR13-15)
 - Soffit boards warping slightly with visible gaps noticeable (Photos G-FR13-15)
 - Front central apex, cross tie and finial damaged (Photo G-FR16)

Comments:

The first trusses in from each on grids B & H on structural sketch SK3 look to have had the king post stiffened / strengthened with an additional post bolted through the original king post. The cross bracing in the north-west corner looks to be a retro-fit and not part of the original structure

Roof Plumbing

With reference to the corrugated metal sheet roofing, it has rusted along the horizontal and vertical overlapping joints and the screw and nail holes have rusted allowing water to penetrate beneath. Rainwater has formed a pattern over time, running along the rafters and falling to the floor beneath

causing moisture damage on the floor lining boards and the timber structure beneath. The raked seating structure appears to have been repeatedly patched previously and requires further strengthening.

The 1977 Club Room

From visual inspection and from reviewing existing drawings (prepared by Kinnaid Hill deRohan and Young Pty Ltd), the clubroom, built in the late 1970's is predominantly a concrete framed building. The first floor is constructed of conventionally reinforced concrete slabs spanning between concrete 'T' beams supported by concrete columns. Foundations are constructed of reinforced concrete. The roof structure consists of steel purlins supported by a series of steel trussed rafters in turn supported by steel columns. The perimeter wall construction is full (i.e. double skinned) masonry.

- **External South-East Concrete Stair & Landing** Wearing surface to stairs is generally cracking & spalling (Refer Photo ST5 & 6)
- **External Middle Stairs & Landing** Generally, in good condition. Some minor spalling at edges (Refer Photo ST7)
- **External Middle Concrete Landing** Several cracks running in an east-west direction. (Refer Photo ST8 & 9)

External North Face Minor cracking to masonry to left hand side of lower window (Photo CR1) Lower windows have cracks (Photo CR2)

External West Face (North Most) No structural defects recorded.

External North Face (First return wall) No structural defects recorded.

External West Face (South Most) Masonry cracking above window (Photo CR3) South Face Masonry cracking at top of ramp region (Photo CR4) Diagonal crack to south-west corner (Photo CR5)

South wall supporting landing Large diagonal cracking across the entire face of wall (Photo CR6) Cracking across top of landing that returns around east corner (Photo CR6 & 7)

East Wall & Exposed Level 1 Slab Minor cracking above south door (Photo CR8 & 9)

Crack to soffit of slab at expansion joint location - may be deliberate construction joint. (Photo CR10) Shear crack to edge face of 'T' beam (Photo CR11) Cracking to hardstand at base of wall (Photo CR12). Minor cracking in south facing wall to left hand side of door. Looks to have been patched previously. (Photo CR13). Minor hairline cracking at mid-span of slab soffits spanning between 'T' beams (Refer Photo CR14). Craze cracking to surface of cantilevered slab. (Refer Photo CR15) East-west cracking (most severe over first 'T' beam) (Refer Photo CR16 & 17) Cracking to hob at south end (assumed hob). (Refer Photo CR18).

Ramp Bridge

The steelwork to the ramp / access bridge to the clubroom is in reasonably good condition.

3.6 Cracking to hold down concrete pedestal (Photo RB1). Cracking to ramp slab east side edges & interface with bluestone wall under (Photo RB1) Shear crack to first concrete abutment wall on west side (Photo RB2). Cracking to ramp slab west side edges & interface with bluestone wall under (Photo RB2). Cracking around balustrade base connection (Photo RB3). Cracking across width of pavement in second panel (Photo RB4). Longitudinal crack in surface of suspended ramp/bridge slab (Photo RB5). Cracking to concrete treads (Photo RB6 & 7). Missing grout under base plate to braced column (Photo RB8). Cracked pedestal concrete under braced column base (Photo RB9)

Ground Level Internal

Efflorescence observed to ground level south wall of gym storeroom (Photo Int 1).

Minor spalling along formwork edge to slab soffit in gym (Photo Int 2).

Several horizontal cracks for central concrete column to north wall of storage room (Photo Int 3 & 4).

6. WHY IS THE PRINCES PARK GRANDSTAND SIGNIFICANT?

Victorian Heritage Register

Location Park Street Maryborough, Central Goldfields Shire

Municipality Central Goldfields Shire

Level Of Significance

Registered Victorian Heritage Register (VHR) Number H1880

Heritage Overlay Numbers Ho166

VHR Registration July 20, 2000

Heritage Listing : Victorian Heritage Register

Statement of Significance

Last updated on - June 1, 2000

What is significant?

The Prince's Park recreation reserve is a flat, low-lying site of approximately 25.6 hectares (64 acres) bounded by Park Road, Holyrood Street, Burns Street and Earl Street. The 7 hectare Lake Victoria forms a central feature and is surrounded by parkland serving a mix of active and passive recreation. The reserve is one of Victoria's oldest recreation reserves. Maryborough was proclaimed a municipality on 3 March 1857 and in September 1857 the Maryborough Cricket Club presented a petition to the Council that ground opposite Nightingale Street be reserved for the Club.

In 1863 12 acres was permanently reserved and in 1895 an additional 52 acres was added to the reserve. The first grandstand, a building relocated from Market Square was moved to the Park in 1860s and in 1864 a cricket match against the English XI was held. In 1869, 62 trees were selected by Clement Hodgkinson, Assistant Commissioner of Lands and Survey. Excavation of the lake began in 1883 and Council sought advice from William Guilfoyle, Director of the Melbourne Botanic Gardens on the layout and planting, although little now remains of his work. In about 1939 the Council also obtained advice from the noted landscape designer Hugh Linaker. Many improvements were made to the Park which had earlier been mined. Tree planting occurred around the oval, lake and reserve perimeter.

The stone lined western drain to Wills Street was constructed in 1881, the Blackman's Lead arm (Earl Street) in 1885 and the western drain to Holyrood Street in 1886. The timber walls were replaced in 1903.

Other improvements were a cast iron fence and gates 1885, which was modified in 1926 to include four stone World War 1 memorials to replace the central gate posts, a grandstand 1895, band rotunda 1905, ticket office 1908, and bridge 1909. In 1953 Coronation Park was formed when the community planted trees to commemorate the coronation of Queen Elizabeth II. Although the landscape planting has been simplified and reduced in area for sports fields, playground and a caravan park, remnants of the early lake and perimeter conifer planting remain.

Within the reserve is the registered 1940 Maryborough Municipal Olympic Swimming Pool (H1319). Lake Victoria holds an important population of Freshwater Catfish which were released into the lake in about 1982. The Catfish are listed under the Flora and Fauna Guarantee Act 1988 and are classified as 'vulnerable'.

How is it significant?

Prince's Park is of historical, architectural, aesthetic, scientific (botanical) and social significance to the state of Victoria.

Why is it significant?

Prince's Park is historically and socially significant being one of the oldest recreation reserves in Victoria.

- It has long served as a public meeting place for sporting contests, community events and for passive recreation.
- It has been the site of sporting events since it was first used as a cricket ground in 1857, only a few years after Yarra Park (1853) and Albert Park (1855) in Melbourne.
- The Highland Gathering has been held on New Year's Day at the Park since 1859 and is claimed to be the longest continuous sporting event in Australia.
- The Park has continued to be the venue for other sporting activities and competitions. Coronation Park was formed in 1953 when the Maryborough community participated in a tree planting to commemorate the coronation of Queen Elizabeth II.

The 1895 Grandstand is of architectural significance as an important design of the long established and notable architectural firm, Thomas Watts and Sons.

- Thomas Watts (1827-1915) arrived in Victoria in 1853 and was one of the founders of the Victorian Institute of Architects in 1856 and the first Hon. Secretary. He was President in 1884-85 and in 1900.
- The architectural firm designed some of Victoria's most significant buildings, including Bontharambo (1858), CSR buildings (1872), Cramond House (1888), Dalmeny House (1888), Malvern House (1891-2).
- The Grandstand uses extensive turned wood decoration and is an early example of all timber decoration that became more widespread in late Victorian and the Edwardian period.
- The Grandstand is the only example of this type of building by Thomas Watts and Sons. It is similar to the 1886 South Melbourne grandstand designed by William Elliot Wells which was destroyed by fire in 1926 and a similar grandstand at Victoria Park, Collingwood which was demolished in 1966.

Prince's Park is historically and aesthetically significant for its association with three important landscape designers in Victoria, Clement Hodgkinson, William Guilfoyle and Hugh Linaker although their influence and original design is now reduced.

The Park includes a collection of buildings and structures now rare in Victorian reserves, the 1885 fence, and gates which was later modified to include four memorial pillars to World War I servicemen, the 1895 grandstand is one of the earliest in Victoria and the only remaining nineteenth century surviving timber grandstand.

- A band rotunda, designed by the long serving Town Clerk and Surveyor, 1887 to 1935, Henry Neville Phillips (the Phillips Gardens are named after him), erected to commemorate Maryborough's golden jubilee in 1904 and opened in 1905, and a rare 1908 ticket office, one of only three such structures in Victoria.
- The other two offices occur at the entrances to the Fitzroy Cricket Ground.
- The stone lined drain first formed in 1881, extended in 1886 and the Blackman's Lead drain (Earl Street) in 1885, and the 1909 bridge are attractively designed and crafted structures and are of historical and aesthetic importance.

- The landscaped Lake Victoria, named in honour of Queen Victoria's golden jubilee, and formed in 1883-5 by prison labour and altered in 1982 is a significant landscape feature. The remains of three rows of Monterey Pines and a row of Weeping Willows around the waters edge forms an attractive landscape.
- A row of Dutch Elm trees shade the rotunda, and Elms north of the grandstand and oval, and Elms along the western drain and Holyrood Street, Monterey pines around the lake and along Burns Road are a major landscape feature of the reserve and of aesthetic value.
- The well positioned and designed buildings and structures positioned to the west side of the oval and the lake in a landscaped reserve are of importance and rare for recreation reserves in Victoria, with no other reserve having a similar collection of 1880-1910 structures.
- The art deco gentlemen's toilet is contemporary with the nearby registered swimming pool and is of aesthetic and architectural importance.
- The only similar landscaped recreation reserve in Victoria is at Benalla and on a smaller scale Melville Oval, Hamilton and neither have a collection of buildings, structures, lake and ornamental planting similar or as extensive as Prince's Park.

Prince's Park is of scientific (botanical) significance for the occurrence of Victoria's only recorded Phoenician Juniper, *Juniperus phoenicea*.

- Three Red Cedars, *Toona ciliata*, were planted about 1988 in the Park. They were propagated from an old Red Cedar in Phillips Gardens and the species is rarely cultivated in Victoria.
- Another uncommon tree is a fine specimen of *Cupressus torulosa* var. *corneyana* and north of the Tennis Courts is a fine stand of the Red flowering Ironbark, *Eucalyptus sideroxylon* 'Rosea'.



B4 Grandstand



B10 Toilet



B6 Ticket Office



T1 *Juniperus phoenicea* x1



T13 *Salix babylonica* row x30



T17 *Eucalyptus sideroxylon* 'Rosea' stand x17



T1 Juniperus phoenicea x1



T13 Salix babylonica row x30



T17 Eucalyptus sideroxylon
'Rosea' stand x17



T1 Juniperus phoenicea x1



T13 Salix babylonica row x30



T17 Eucalyptus sideroxylon
'Rosea' stand x17

3 All of the trees marked as follows on Diagram 1880 held by the Executive Director:

T1 Juniperus phoenicea

T2 Brachychiton acerifolius

T3 Ulmus x hollandica x8

T4 Toona ciliata x3

T5 Cupressus torulosa var. corneyana

T6 Ulmus x hollandica x4

T7 Pinus radiata x5

T8 Pinus radiata row x5

T9 Ulmus x hollandica row x33

T10 Eucalyptus leucoxyton

T11 Eucalyptus microcarpa

T12 Pinus radiata 3 rows x45

T13 Salix babylonica row x30

T14 Pinus canariensis x2

T15 Pinus halepensis x4

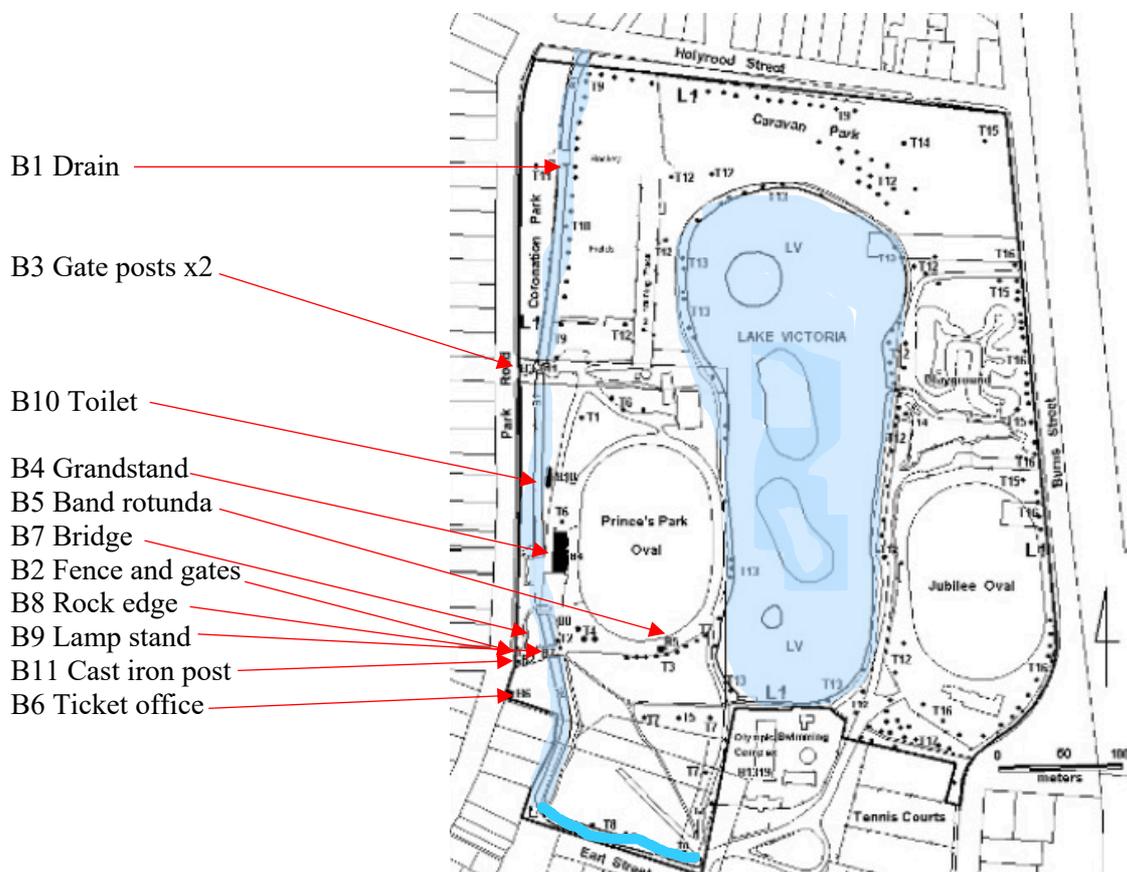
T16 Pinus radiata row x 33

T17 Eucalyptus sideroxylon 'Rosea' stand x17

T10 Eucalyptus leucoxyton

Extent of Registration

1 All of the buildings and structures marked as follows on Diagram 1880 held by the Executive Director:



4. All of Lake Victoria, including the north island, bluestone retaining wall, encircling path marked LV on Diagram 1880 held by the Executive Director.

5. Streets, being crown land permanently reserved as a Public Recreation Reserve (Rs 4993) marked L1 on Diagram 1880 held by the Executive Director.

Recommendations

That the Princes Park Grandstand does not alter its cultural heritage status. It remains included within the VHR 1880 as a 1895 Grandstand of architectural significance as an important design of the long established and notable architectural firm, Thomas Watts and Sons.

Prince's Park Maryborough Conservation Analysis and Master Plan

In 2000, shortly after the gazettal of Princes Park on the Victorian Heritage Register as a state heritage listed place in 1999, the Central Goldfields Shire Council commissioned John Patrick Pty Ltd, to prepare a Master Plan and Conservation Analysis for Princes Park. The report is extensive in its breadth and detail and has assisted Council in managing Princes Park to ensure its heritage values were retained during periods of upgrade and new development. The statement of significance for the Grandstand are given below.

Statement Of Significance (John Patrick Pty Ltd., 2000)

Brief History

The original grandstand was a pavilion relocated from the Market Square in the mid-1860s, possibly before the 1864 cricket match against an English XI (Refer *Figure 2.3*). This building eventually proved unsuitable and a new grandstand was constructed in 1895 by W J Dingle for £1,300³². Other prominent buildings constructed in Maryborough by WJ Dingle included the nurses' quarters for the hospital (1902), the Brigidine convent in Kars Street (1903) and the Bull & Mouth Hotel in High Street (1904)³³. The grandstand was designed by Thomas Watts & Sons of Melbourne; one of Victoria's most important nineteenth century architectural firms. Six buildings designed by the firm are on the Victorian Heritage Register. Thomas Watts also designed a new grandstand for Victoria Park, Collingwood in 1909 that was similar in appearance to his Maryborough design (Refer to *Figure 4.1*). The use of timber decoration for the eaves, gables and balustrades in lieu of cast iron was unusual at this time. A small structure was added to the rear corner of the northern end before 1946 and was used by the Maryborough

Prince's Park Maryborough Conservation Analysis & Master Plan

Highland Society. The roof was damaged by a storm in the 1960s and was replaced. The football clubrooms and rear access ramp were added to the southern end in 1979.

The Council minute books state that the grandstand was regularly used for viewing sporting events as well as being a vantage point for Agricultural Society show events, the annual Highland Gathering, charity carnivals and fire brigade demonstrations.

Significance

The grandstand is of architectural significance for the use and nature of its timber decoration, as such ornamentation was uncommon before the early 1900s. The grandstand is the only remaining example of a recreation facility designed by the important architectural firm, Thomas Watts & Sons, whose later grandstand at Victoria Park, Collingwood (1908), was demolished in 1966. The extensive modifications to the base of the building, the replacements of balustrades and the clubroom additions have compromised the aesthetic appeal, although the upper structure and roofing are still basically intact. The grandstand has historic and social importance for its long association with the public recreation reserve and as the prime viewing location for the events held on the oval. It is also historically significant as one of the few remaining nineteenth century Victorian grandstands. It is of primary significance to Prince's Park. The 1979 football clubrooms have no significance and are visually intrusive.

7. HERITAGE MANAGEMENT

8 CURRENT AND FUTURE USERS' REQUIREMENTS

Desired Standard of Maintenance

Central Goldfields Shire Council's objective for the Conservation Management Plan and Maintenance Plan is for the heritage fabric of the Grandstand to be maintained so that it is kept in a good condition for use by the community. This is a minimum standard of maintenance that would preserve the Princes Park Grandstand at a level that would make it "accessible for the education, appreciation and enjoyment of diverse audiences".

Overall, although the Princes Park Grandstand is in reasonable condition, it requires essential maintenance and conservation of original fabric. Despite the removal of the external timber stairways, the main section of the structure is totally intact and has a high degree of authenticity. The adjacent 1977 Club Room addition was built onto the rear of the grandstand designed by engineers, Kinnaird Hill de Rohan and Young Pty Ltd, in 1977, a leading Australian engineering company, associated with several heritage listed 'brutal style' architectural designs.

Community Support

Community support and use of the Princes Park Grandstand is very high. The sports oval and the Grandstand is well used and has been in continued use since the 19th century. The retention and restoration of the place is supported by the local community, further illustrating the high regard in which it is held. Its iconic form is symbolic of the heyday of the nineteenth sporting culture in Australia, when thousands of spectators for the first time began to attend regular events. The events attracted over 6,000 to 8,000 spectators by 1900 and within a hundred years attracts in excess of 30,000 people for the Energy Breakthrough event in November each year.

Princes Park Grandstand epitomizes the late nineteenth development of public recreation and sport, when leisure became formalized and legislated becoming an essential part of the Australian lifestyle. The creation of Princes Park could never have happened without the rise and abandonment of extensive gold mining land in the centre of Maryborough.

Community Communication Plan

During the process of preparing this Conservation Management Plan, the Central Goldfields Shire Council prepared a community communication plan to inform the public about the Conservation Management Plan. The process included consultation with key stakeholders including sports and recreation groups, key user groups, heritage association and sports participants. The matters discussed included topics such as how to enhance Grandstand as the premier sport and wellbeing centre in the Shire; what action needs to be taken to refurbish the facilities that would enable the community to be proud of an updated, fit for purpose facility; what are the urgent accessibility issues for a wide variety of people, with particular needs. How could a safe environment for users be achieved and what is required to better host sporting events.

Community engagement took place through a number of different mediums, including Council's regular, no-charge communication platforms. This includes website platforms, facebook, twitter, media release/photo opportunities, Council advertising in *The Maryborough District Advertiser*, inclusion in Mayor Meadows-Taylor and Councillor Lovett's column and also the Chief Executive Officer's weekly radio spot. In addition, there were individual conversations with specific club representatives, and also an information day at the Grandstand. The following issues were raised.

User Requirements

Cricket and Netball Club and Highland Club representatives, Marc Cassidy (Cricket/Football), and Malcolm Blandthorne (Highland).

Football Club

Issues

- Change rooms need updating. The football club have in the past undertaken renovations to the changing rooms, but the showers and toilets need upgrading.
- The 'Away Rooms' for visiting teams need upgrading.
- The gymnasium space in the 1977 Club Rooms, needs integration and better assembly. It is used by the seniors (sometimes) but the equipment is old and underutilized people more inclined to go the private gyms (leisure centre).

Opportunities

- The Football Club wish to obtain a liquor licence in order to earn income, increase revenue and expand upon the capacity of all clubs.
- The 1977 gymnasium space has potential to be fitted out as a private/community use. At this stage it has only ever been used by the football club members. If this space were professional equipped and refurbished, then junior players could use it. At present younger age group players do not have access to the gym. Designing the gym for all ages would be attractive to players.
- The district league has the women's/ladies side ie Carisbrook representing the district league. At the time of this discussion there were limited opportunities for female teams in the regional female football group. However, the female football teams use to organize bootcamps on the Oval with use of the Grandstand facilities. this should be encouraged.

Cricket Club

Issues

- Social space for after games use by the players and training sessions is very important. This area should have an appropriate liquor license that reflects the hours of use. (At present there are liquor license restrictions that are too restrictive and do not reflect the hours of use).
- A suitable and safe liquor license is the only source of income for the clubs.
- The centre wicket facilities need upgrading, it is extremely important that this is retained into the future.
- The requirements for the wicket, are all maintained by the cricket club members. Council maintains the grass but not as a cricket oval.
- There are no female change rooms in the building.

Opportunities

- There is a junior girls' team at Princes Park (Paul Rump) playing in the local league and participating in a weekly competition in Ballarat. This is a huge area and facilities for female cricketers should be provided and be adequate.

Schools Sports

- There are many school sports activities in Princes Park all requiring changing facilities for both male and female players. these include the District Cross Country Event, which is held at Princes Park every year and also the Big Bash Cricket day (for both females and males).
- Both schools District Cricket and Football is held here. The students only use the facilities at the rear of the grandstand, in the male and female toilets which is totally inadequate. They are not permitted to use the facilities beneath the grandstand.

Other Issues

- Safe lighting and night lighting is an issue. The illumination levels are currently very poor and urgently need to be brightened.
- Dull and insufficient illumination is limiting the capacity for use of the grounds and facility.

Highlands Society

Issues

- There are issue relating to cleaning the grandstand after events such as the New Year's Day activities and general lack of cleaning. It appears Council's budget is not adequate to cover essential and regular cleaning and cyclic maintenance requirements.
- Cyclic maintenance is vital. the current regime is not designed to address the special needs of the building. Maintenance and regular re-painting would result in less dust, cobwebs, and bird droppings over the structure. It seems there is no annual spring clean or quality assurance hygiene inspections programme, to ensure the place gets a deep clean.
- Lack of cyclic and regular maintenance of basis measures has resulted in deteriorating fabric, loose and missing material that is causing tripping hazards. These safety issues with stairs, timber flooring visibility is all compounded by lack of regular maintenance. The older community is hyper aware of these dangers and the elderly are often assisted up the stairs and have to use older toilets at the events.

Opportunities

- The Maryborough Grandstand has been in regular use since 1857 for events. The social rooms are well utilized during the season (summer) and also use the change rooms. The opposition teams use the Maryborough Football team changerooms.
- More regularly than before, homeless people and associates, set up camp in the Grandstand. People are concerned with the use of the facilities for this purpose, as it is not appropriate, and homeless people should be better looked after by the authorities. Generally, when people are living rough, it inhibits other use of the place. This is particularly an issue during the summer months.
- Trying to bring back the Pipe Bands championships in 2024. the Highland Society wish to use this facility at a centre piece, with about 3 - 4000 people
- The Highland Society wish to use the 1977 Club Rooms for events, and utilizing the club rooms for the Highland Society as a base. (This is available to hire from the Football Club).

Grandstand

- The grandstand is highly prized seating in the shade during events - people get a seat early and spend the day there. There is great support for the restoration, conservation of the place.

Central Goldfields Shire Council's Challenges And Opportunities

The Central Goldfields Shire Council commissioned the 'Active Central Goldfields Recreation and Open Space Strategy 2020 to 2029' for the purpose of "establishing a clear direction for the provision, development and management of high quality, open space, sport and recreation places and spaces to increase the Central Goldfields Shire community's opportunities to be Healthier and More Active More Often.

The Central Goldfields Shire Council Recreation and Open Space Strategy 2020 to 2029 is guided by the following key sectors and their respective focus and key priorities:

- Partnerships to deliver active recreation, sport, health and wellbeing programs that assist people to be more active more often.
- Encourage and facilitate social sport and active recreation opportunities.
- Promote the benefits of and local opportunities to be more active more often.
- Activation of our key facilities, places and open space.
- In partnership, promote and implement free, low cost and affordable participation opportunities.

Summary of the 'Active Central Goldfields' Council's Recreation and Open Space Strategy 2020-2029

There are several recommendations which relate to Princes Park and which may have direct or indirect impact upon the future of the Grandstand:

Maximising Usage of Facilities and Spaces

Ensure that facilities and spaces are fit for purpose. Actions:

- Utilize Capital Works Assessment Matrix and Access Audits to determine need for improvements at Council owned and managed facilities and to prioritize projects for Council's Capital Works Budget.
- Develop asset management plans for key Council owned and managed facilities that align with service levels according to a facility hierarchy classification**.

Respond to specific issues raised about compliance with State Sporting Associations Standards and/or Guidelines. Actions include:

- Support clubs and organizations to address Universal Design, Access to Premises issues and competition requirements at existing facilities, seek and/or assist in applying for funding as per project priority; prioritize Council owned and managed facilities.
- Support clubs and organizations to address female friendly provision; prioritize Council owned and managed facilities.

Planning and Feasibility for Development

Continue planning to make the Princes Park Complex the premier sport, recreation and open space facility. Actions include:

- Comprehensive Master Plan for entire complex. Considerations relevant to the Grandstand are:
 - Increasing multi-use, shared use by clubs/associations
 - Grandstand Renewal
 - Needs of Energy Breakthrough

Sustainability

Plan to respond to Climate Change Challenges. Actions include:

- Assess (feasibility study) the need for additional indoor facility options and/or new opportunities that can be provided at existing indoor facilities (may require repurposing).

Identify and implement Energy Saving Measures to reduce energy use and greenhouse emissions.

Actions include:

- Identify improvements to Council owned/managed facilities including solar energy options, energy saving lighting, provision of sensors.

Proposed Master Plan for the Princes Park Complex

Consultants have been commissioned to undertake master planning for the major reserves in Maryborough, including Princes Park. It is anticipated that consultants will be appointed and will commence this project in May/June 2021. The Project Management Plan for the Princes Park Grandstand will be made available to them. The consultation process will more clearly identify the needs of the community and of sporting clubs and will propose potential solutions, including the future use of the Grandstand.

Specific Challenges

The following challenges are of particular concern:

- The change rooms are not fit for purpose and do not meet the facility guidelines of the AFL, Netball Victoria and Cricket Victoria for players and umpires. There are no change rooms for female participants
- Anecdotal concerns re asbestos in the building and white ant infestation
- Lack of telephone and IT access in changing the rooms
- Lack of access for all people of different abilities
- Meeting the needs of event organizers especially re Energy Breakthrough and Highland Games
- Costs of restoration and/or repurposing.

Some Key Opportunities

- Sensitive but inspiring conversion into a fit for purpose sporting change/social facility with consideration of female friendly design, Environmentally Sustainable Design, Crime Prevention through Environmental Design (CPTED), Universal Design and Healthy by Design. Also making use of technology to improve asset management and maintenance.
- Public display information re it's history and associated stories;
- Innovative community use and partnership development – currently use is dominated by sporting clubs.

9. CONSERVATION POLICIES

The following guidelines provide overarching direction on how the heritage management of the site may best be achieved both in the long and short term, with respect to the above described desired standards of maintenance, standards of facilities and retention of heritage values. The guidelines are based on the conservation principles and processes set out in the *Burra Charter*, the Statement of Significance set out in Section of this report and the significance rankings of the key heritage assets set out in this report.

1. Acceptance of Approach

Conservation policy is guided by the assessment of significance of the place as outlined in this conservation plan.

Policy 1 The assessment of significance for the place as outlined in this document should be accepted as the basis for the conservation and planning of Maryborough Grandstand.

Policy 2 The policies recommended throughout this document should be endorsed as a guide to future work by those responsible for managing the place.

2. General Approaches to Levels of Significance

The levels of significance provide a guide to conservation actions.

Policy 3 The greater the significance of a fabric or a feature of a place, the more care should be taken in actions which may affect it. Items identified as having considerable significance should be retained and conserved. Items identified as having little significance may be removed or modified. Items identified as intrusive should be removed when no longer in use.

3. Conservation Policies: Use

Ensuring the continued use of a heritage place is often the most effective way of aiding in its conservation. The most appropriate uses are those that can be accommodated without requiring major alterations to significant fabric.

Policy 4 The place should continue to be used to aid in its conservation and assist in ongoing inspection, maintenance and repairs.

Conservation Policies: Management and Maintenance Management

Policy 5 A clear understanding of the cultural heritage significance of the place should be established in order to aid the management of the place.

4. Records

Policy 6 It is recommended that a building file containing relevant documentation and plans be kept by the owners. If maintained and added to over time, the records will continue to be of use to future generations.

5. Setting and Landscaping

The Grandstand is located on the western side of Princes Park, near the centre of Maryborough, with the 1977 Club Room addition attached to the south side of the building obscuring its view from the main pedestrian gates. The Grandstand is set in beautifully landscaped grounds of Princes Park, the first 1863 gazetted Recreation Reserve, comprising the grass lawn sports oval, circular vehicular angled driveway and car parking area. Behind the structure is Blackmans Channel and toilet blocks, in front views towards Lake Victoria, and to the south is the Band Rotunda and oval and to the north the hockey fields and rows of Elm trees. The site is enclosed by the Princes Park perimeter fencing. Significant views of the place are obtained from the east, south and east.

Policy 7 Open views to the place should be retained and conserved.

Policy 8 Maryborough Grandstand is located in an open park like setting with other elements of cultural heritage significance. There should be no further development or installation of services in the landscaped setting of the place. Service facilities located directly in front of the Maryborough Grandstand should be relocated from the front facade and viewing area.

6. Parking

There are currently parking areas to the north of the place providing adequate parking.

Policy 9 On-site parking is already provided. Any further parking, if required, should not impinge on significant views of the place.

7. Structure and Fabric

The Grandstand is a timber and brick structure and also part of a complex of buildings comprising the 1977 Club Room addition; timber ticket and gatehouse; female brick toilets; male 1930s Art Deco style toilets; Band Rotunda; and small car park entrance ticket office. The complexity, significance and condition of each structure varies.

Policy 10 CARDNO/TG structural engineers have completed a Dilapidation Report (2021) of the Maryborough Grandstand and Club Rooms, recommendations for remedial structural work should be carried out as soon as possible. These are a priority.

Policy 11 The form of the roof of the building is of considerable significance and should be retained. When roof sheeting is replaced, it should be replaced to match existing galvanized traditional profile CGI. Any repairs should match existing form and work.

Policy 12 The entire timber structure, structural members and timber decorative details have considerable significance and should be retained. Where they are damaged, they should be replaced to match existing.

Policy 13 Metal connections are original and have considerable significance. Where they are repaired, they should be repaired to match existing, where they are replaced, they should be replaced with like for like to match original.

Policy 14 The 1977 Club Room has little or no heritage significance. It is an addition to a state listed heritage building and requires consent from Heritage Victoria for proposed works. Any repairs and upgrades planned for this building should have regard to the visual impact on the Maryborough Grandstand and Princes Park. The Club Rooms were designed by the foremost structural engineering firm in Australia responsible for working in association with well known architects who are regarded as key proponents of the Brutal architectural style between the late 1950s to late 1970s. In this regard, any changes to the Club Rooms and its roof should be designed sympathetically to its original design philosophy.

8. Roof Plumbing

Policy 15 Deteriorated roof plumbing and guttering should be replaced to match existing profile in galvanized iron.

9. Floors

Floors and steps to the raked seating sub-structure of the Grandstand are timber tongue and groove board and have considerable significance and should be retained. Where they are replaced, they should match the original like for like, including thickness and width profile. The floors are a structural component and where damaged should be remedied.

Policy 16 Generally new concrete floors to the external stairways would be acceptable. The external brick and concrete stairways replaced the original timber stairs, circa 1950s-1970s. Generally, new floors in this area would be acceptable.

Walls

Policy 17 The original form of the building, including its open plan and hipped roof should be retained and conserved.

Policy 18 The appearance of the place should not be altered in such a way as to compromise its aesthetic value. Furthermore, the placement of new elements, including signage, plantings and structures, should have minimal impact on the place's cultural heritage significance.

Policy 19 The original masonry walls should be retained and conserved. Cracking has been identified across the north-east corner. Walls should be repaired to match existing, using bricks stored on site.

Policy 20 Where there is evidence of cracking to the walls. All should match existing, using complementary bricks where possible. No render or paint should be applied to the face brick.

Policy 21 Where masonry is discoloured or requires cleaning, no chemicals or high-pressure sprays should be used, instead, low pressure water spraying should be employed.

10. Openings

Policy 22 The Grandstand retains some original openings, while others have been altered. The upper-level screens/louvres should be reinstated at some time in the future.

Policy 23 There should be no new door or window openings to the east exterior of the Grandstand. New door/window openings should only be allowed where such an opening is a critical requirement for the continued use of the place. The metal bars and mesh screen to the windows are intrusive. As funding permits, consideration should be given to replacing them with less intrusive screening.

11. Damp Treatments and Vermin

Policy 24 It is important to protect the building fabric of from damage through water and from vermin. Currently, the roof corrugated metal sheeting is leaking and causing slow but significant damage to the timber structure beneath. CARDNO/TG structural engineers have completed a Dilapidation Report (2021) of the Maryborough Grandstand and Club Rooms, recommendations for remedial structural work should be carried out as soon as possible. These are a priority.

12. Interior Fabric

13. Ground Floor Changing Rooms

The interior of the Grandstand, particularly its use as a club changing rooms with toilets and showers is original and is of considerable significance. There are some items stored, which may be of significance.

Policy 25 The current internal configuration is not of significance as it has been re-arranged and refurbished in 1977, with changes in location to the toilets and showers.

Policy 26 All items stored should be assessed for significance before decisions are made about their future. The advice of an archaeologist may be helpful.

Walls Ground Floor Changing Rooms

Policy 27 The interior walls of the Maryborough Grandstand are painted face brick, are largely original but have been altered and therefore have diminished significance.

14. Ceilings Ground Floor Changing Rooms

The ground level Maryborough Grandstand changing rooms have 1977's suspended ceilings. The ground floor ceilings are structural and supported the raked seating timber structure above. There is evidence of deterioration to the timber structural members, advice by CARDNO/TGM structural engineers should be implemented.

Policy 28 The timber trusses are probably original and of significance and should be retained. Where they are damaged, they should be replaced to match existing.

15. Signage

Current signage maybe of significance. It may be necessary to introduce new types of signs to the Grandstand to allow future uses and to comply with the Occupational, Health and Safety Act 2021.

Excess signage can clutter and confuse the experiences of places with cultural heritage significance. It is therefore necessary to limit the amount of new signage.

Policy 29 New signage should be of a simple, modern design, and should not adversely impact upon the heritage values of the place. A cohesive signage suite should be professionally designed for the entire place

Policy 30 New signage should be fixed so as to cause the least amount of damage to significant material and should be easily removed and the damage made good. Professional advice should be taken as to how best to achieve this.

16. Lighting

Policy 31 Lighting strategy should be devised that incorporates the need for specific lighting whilst protecting, to the largest extent, original significant fabric. A comprehensive, complementary suite of lights should be professionally designed and selected to meet all lighting requirements.

Policy 32 The existing interior and exterior light fittings and fixtures that are intrusive may be removed or modified if desired.

Policy 33 New light fittings should be of a simple, modern design and should be chosen for their effect rather than as features in themselves.

17. Security

Security features are important for protecting the fabric of significant places from vandalism, however some security elements, such as wire mesh, should be avoided where possible as they can be intrusive elements. The metal gates fixed to the entry doors and the wire mesh affixed to the interior of the windows is intrusive.

Policy 34 Security features should continue to be maintained at Maryborough Grandstand. Any new security features should not be dominant features of the place.

Policy 35 New technologies, such as glazing films and steel mesh screens, may be used to minimise the intrusion of security features.

18. Conservation Policies: Future Development

Potential sites for new development in the vicinity of the Grandstand are generally not recommended. The development zone should be restricted to refurbishment of the 1977 Club Rooms, and any works should retain critical significant structures and views of the place.

Policy 36 Any new development to Maryborough Grandstand should be carefully designed to respect the form, scale, and materials of the existing building, but should be readily identifiable as new work. New work should be compatible in materials and colours.

Policy 37 Any new structures should be located and/or detailed to ensure that there is a clear visual separation between the original buildings and any new structures.

Policy 38 Elements of little or no significance or that are intrusive may be retained or redeveloped as required.

19. Adaptation

Adaptation of significant buildings and/or interior spaces to accommodate adaptive re-use is appropriate for the ground floor changing rooms and 1977 Club rooms, and often necessary to ensure both the conservation and future viability of the place. The general objective is to ensure that the significance of the building is maintained while allowing the building to accommodate a new use.

Policy 39 Adaptation should be carried out in a way that ensures that changes to the significant fabric can be reversed without causing damage, and that the original structure of the buildings remains evident.

Policy 40 Where modification of internal spaces is required for a new use, new elements or structures may be introduced. These should be designed to allow an understanding of the volume of the original interior space.

Policy 41 If internal elements are removed or modified to allow for a future compatible use, a photographic archival record should be prepared prior to any changes occurring.

20. Heritage Impact Statement

A useful way of reviewing the effect proposed changes may have on the cultural significance of a place is to inform the process by considering a professionally prepared heritage impact statement. Such statements have the potential to be very useful for conservation planning as they can be specific in ways that this, or other conservation plans cannot be.

Policy 42 Heritage Impact Statements specific to proposals for major works or new developments, either at the place or in the vicinity of its setting, should be prepared and proposals modified in light of the findings.

21. Services

Ongoing use of the place may require service upgrades to maintain function, whilst adaptation of the place for future uses the provision of additional services may be required. These services may include upgrading and/or additional electrical, gas and plumbing, air conditioning, telephone and data, mechanical services, and emergency lighting and exits. These requirements may have an impact on significant fabric and a conservation specialist should be consulted. Services at the Grandstand are minimal, and largely intrusive.

Policy 43 Existing services should be reviewed with a view to removing redundant services and making good any damage, and to rationalize necessary services and locating them in discreet locations.

Policy 44 The provision of new services should be undertaken with the minimum interference to significant fabric and the character of significant spaces. If new services are installed, existing services should be consolidated, and redundant elements removed with the guidance of an engineer with experience in heritage work.

22. Statutory

Fire safety regulations, Health Acts, the Australian Building Code regulations, and other constraints operating on any property apply, and the future uses of any building will be influenced by these requirements. Procedures for approval should be followed for any proposed future use of the building. In order to ensure that statutory requirements are met with minimum interference to significant fabric and other heritage values, a process of negotiation should be undertaken.

Policy 44 Where elements have been assessed as having heritage significance, any works arising from requirements to comply with statutory regulations should be evaluated against this conservation policy to ensure minimum impact on significant fabric. Professional advice should be sought to ensure that both safety and conservation issues are fully assessed.

23. Interpretation

It is important to provide the community with an understanding of the place. The extant built fabric of the place is the primary source for interpretation. The conservation plan also provides a valuable source for interpretation of the place.

Policy 46 The significant fabric of the place should be retained and conserved to assist in the understanding of the place.

Policy 47 A copy of the final conservation plan should be placed in the Central Goldfields library.

10 MAINTENANCE PLAN AND RECOMMENDATIONS

The effectiveness of the maintenance plan and subsequent work may appear to remain constant over time, but the focus of attention can often shift considerable due to a number of factors described below:

- Availability of finance, which is an essential determining factor.
- The desired standard of maintenance can change eg to stabilize a component in its current state in the medium term or to carry out design changes with use of modern technology to prevent ongoing deterioration. These matters are influenced by financial considerations, availability of materials and skills.
- Maintenance is part of a social system where all occupiers and users play a part. Their needs and expectations need to be taken into account.
- Efficiency of the maintenance programme depends on correct diagnosis. Incorrect methodology exacerbates problems.
- Maintenance is divided into short and long term works as well as unpredictable relating to such unanticipated events as storm damage or lightning strikes.
- It should be accepted that more rather than less maintenance will be required if the value of the property is to be maintained.

Heritage Maintenance Reporting

The Maintenance Plan is dependent upon an effective maintenance management accounting system where adequate records and data are required. Council has maintenance asset reporting system. the information provided here is specifically for heritage conservation of a state heritage listed place.

- **Day Logbook Or Diary:** The diary is for recording reported defects, injuries and daily expenses. Note that there are many digital apps for maintenance recording.
- **Maintenance Logbook:** This records all maintenance work carried out, including a description of the work, date of completion, estimated and actual cost, contractor and warranties. A cross-reference system should enable details of treatments such as fungicides, paint types and colours to be readily accessible in the future. The maintenance logbook includes the actual price for work done, it is a valuable source for future budgeting.
- **Periodic Inspection Survey Sheets:** All properties should be inspected at regular intervals to identify any deterioration and required maintenance work, including cleaning. Records show the history of an item's condition and likely future problems and costs. They indicate whether a property is being over- or under-maintained or misused and can show if previous maintenance was inappropriate or if there are design or material defects. All records should be readily available on site. It could be advantageous to record the long-term performance of repair materials and procedures in order to assess their suitability for future maintenance work. The usefulness of written records will often be enhanced by taking photographs.
- **An Annual Budget Spreadsheet:** Annual budgeted expenditure on maintenance can be of three kinds: committed expenditure, which includes tasks that occur every year as part of planned maintenance, such as maintenance contracts, variable expenditure. It includes regular tasks within an overall program of planned maintenance that may not occur every year; managed expenditure, which relates to unplanned maintenance works carried out entirely at the building manager's discretion – primarily emergency corrective maintenance.
- **A Program of Maintenance Work:** A minimum level of programming is required: long term maintenance; annual maintenance; and seasonal or quarterly maintenance inspection surveys.

Discussion

In preparing the maintenance plan and an annual programme that determines the level of maintenance required, the values of the place as set out in the statement of significance must be taken into account. In addition, the mission statement of Central Goldfields Shire Council. Other factors need consideration such as the Conservation Policies set out in the Conservation Management Plan and best standard principles and recommendations set out in the Australian ICOMOS Burra Charter. The relative importance of values and alternative options for different levels of maintenance should be examined as needed.

A maintenance plan identifies priorities and develops specific maintenance plans for individual elements features and objects of the place. This may include:

- breakdown maintenance
- preventative maintenance
- servicing maintenance
- cyclic maintenance
- condition-based maintenance
- specialist heritage requirements
- scheduled maintenance to address special needs, eg. external render and slate stones
- maintenance of 'non-built' heritage assets, for example landscapes, archaeological sites, moveable objects and collections
- guidelines for building managers about the protection of heritage significance on a day to day basis and for future owners/occupiers
- capital investment plan that includes, medium- and long-term maintenance plans
<https://www.amaga.org.au/national-standards-for-australian-museums-and-galleries>
- annual program to implement the maintenance program.

A Statement Setting Out Priorities For Each Budget And Work Plan

Each maintenance plan should set out the priorities for each budget and work plan. Some of the factors affecting priorities are:

- occupational health and safety
- security of premises statutory requirements, vandalism
- increased operating costs, and loss of revenue, disruption to business.
- likely failure of critical building fabric and policy decisions.

Structure of the Maintenance Plan Inspection Sheet

There are different ways in which Inspection Sheets can be designed. A decision to prioritize structural elements reflects the level of significance of this component and its fragility, loss of which would detrimentally impact on its rarity value.

- Roof corrugated metal cladding sheets
- Rainwater goods
- Timber structural unit, roof, raked seating area and subfloor structure
- Masonry and concrete walls and external stairs
- Timber elements and details, timber windows and doors
- Interior rooms
- Services: Services, Lightning Conductors, Storm Damage, Fire Protection
- Security
- Urgent Maintenance
- Insurance

Action Plan: Maintenance Plan Schedule

- The objective of maintenance work is to ensure continuous protective care and long-term conservation of the structural timber frame system as well as decorative wood.
- It includes treatment against termites, dry rot, fungal damage, infestation causes considerable damage. Water, humidity, moisture content and lack of ventilation are environmental conditions that favour infestation. Remedial work on roof coverings, flashings, water disposal systems are required first before timber treatments and timber replacements can occur.
- The repair of the structural frame requires understanding how the frame works as a whole. Failure of one member will put stress on the remaining components.
- Remedial work is therefore organized in a systematic way- it is important to find out why a timber member has failed. and to address this issue rather than introduce new material.
- Works are carried out to a standard that enhances the presentation of the property.
- Preparation of maintenance schedules and conservation methodology should be undertaken by qualified specialist contractors using appropriate materials and methods.
- A Heritage Victoria permit or authorized exemption to a permit will be required.

Policy	Maintenance Plan Schedule
	<p><i>All future repairs and maintenance of the Princes Park Grandstand should be carried out within the practices established by the Burra Charter and in a manner consistent with the assessed significance of the place and individual elements and conservation policies.</i></p> <p><i>To achieve this ongoing cyclic inspections and maintenance program should be introduced to ensure that significant fabric is maintained in good condition and its integrity is not jeopardized.</i></p> <p><i>All repairs and structural rectification work should be undertaken with the overall objective of restoring the timber structure to the 1895 design.</i></p>

It is recommended that all the following works are undertaken in the next 1-3 years. All recommended works are associated with the timber structural frame and are interconnected and regarded as high priority.

Recommended Immediate and Urgent Maintenance Work	Significance
Replace corrugated galvanized metal sheeting and ensuring compatibility of roof plumbing system.	High
Maintenance of the timber roof structure and fascia boards. check beneath fascia boards, as ends of rafters may have deteriorated.	High
Timber structure, all connection joints need tightening, and metal plates adjusting, sagging beam require adjustments.	
Removal of paint system of the timber structure, gable ends and decorative details, replacement of rotted timber, and repainting throughout with fungicide treatment.	High
Replacement of the timber tongue and groove floor boarding in the raked seating area,	High
Checking over and maintenance of the subfloor structure.	High
Checking over and replacement of the north-east corner timber post, and associated masonry/concrete repair,	High
Maintenance of the entire masonry wall structure and concrete and masonry external stairs.	High
Upgrade and refurbishment of the ground level changing rooms and shower and toilet facilities	High
Maintenance and upgrade of services, lightning conductors and fire safety compliance	High
Replace all lost and removed timber decorative details including the original timber balustrade	High

Architectural cost estimates in 2021- range between \$2million for replacement of the timber floor and stairs with matching timbers, like for like, and estimated value of approximately \$5million for refurbishment of changing rooms, services, replacement of roof repainting and restatement of lost timber detailing, all based on previous costings and similar projects.

RECOMMENDATIONS FOR HIGH LEVEL STRUCTURAL UPGRADE WORKS

Location /Ref	Galvanized Corrugated Roof and Roof Plumbing	Repair Type	Size	Comments	Priority
Roof Cladding and roof plumbing	<p>The roof covering is made up of a series of short lengths of corrugated sheeting, metal ridge and hip capping, and short valley gutters. The main roof is hipped with a central large gable end and two smaller gable ends on each front elevation corners. There is a decorative metal filigree along the main ridge capping and tall timber finials on each hip and gable end. Roof plumbing consists of simple quad gutters and round galvanised downpipes that connect into a stormwater system around the building.</p> <p>The corrugated metal sheeting appears original c. 1895. Reuse of original corrugated iron sheets is preferred over replacement. The aim is to stop corrosion, while the metal is impermeable, condensation that is trapped between the layers of metal sheets leads to coating failure. Water running over rusted surfaces will cause staining on walls and timber below.</p>	<p>Corrugated galvanized metal roof lining sheets to be replaced where they are deteriorated, lifted, damaged, rusted and replaced with like for like.</p> <p>Roof plumbing to be replaced where necessary. some sections have recently been replaced.</p> <p>Ensure compatible metals and compliant sizes and profiles, galvanized metal products.</p> <p>Ensure all rainwater down pipes are adequately fixed to the building and connected to the stormwater drainage system.</p>	<p>All</p> <p>All</p>	<p>The corrugated sheeting is damaged, rusted, at the edges and around nail fixings.</p> <p>Rainwater is entering beneath, dripping onto the timber rafters and flowing down to the nearest</p>	High/1



Comments (CARDNO/TGM Princes Park Grandstand Report 2021)

Remedial work on roof coverings, flashings, water disposal systems are required first before timber preservative treatments and structural and non-structural timber replacements can occur.



Very fine decorative cast iron filigree ridge capping. The corrugated galvanized roof sheeting has been painted to extend longevity of the product. The ridge capping and sheetings are rusted at the edges, lifting, and allowing water to enter below into the seating area, as well as between sheets.



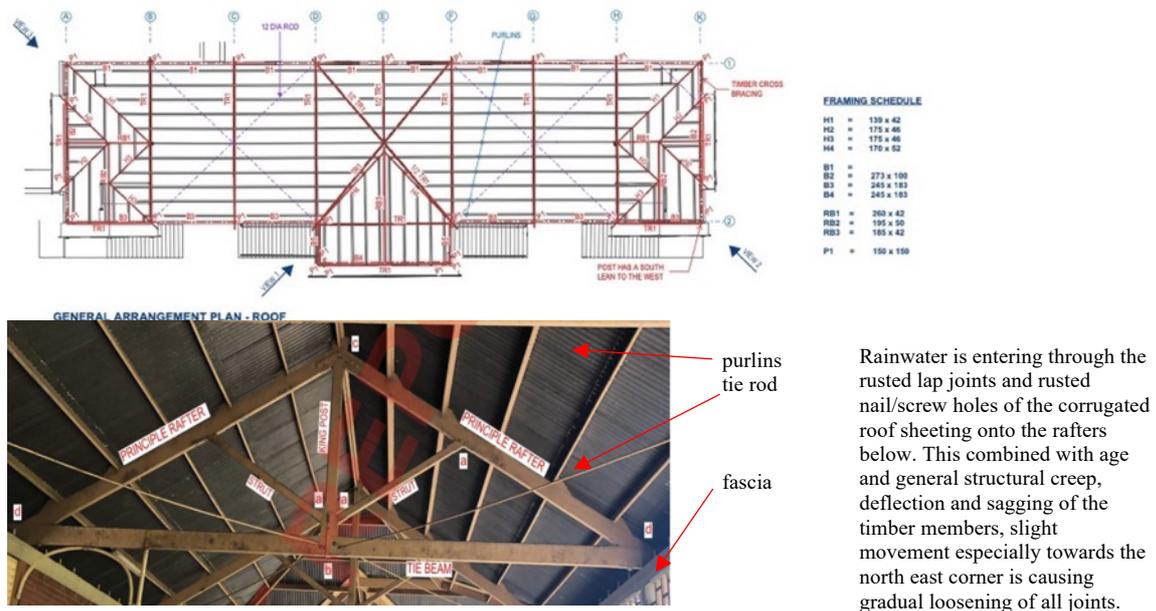
View showing damage and deterioration to the galvanized roof sheeting particularly at the overlapping areas. Due in part to coating failure and corrosion of the metal, including entrapment of moisture between the layers of sheets. This in turn will reduce the structural strength of the sheets.



Repairs to corrugated iron roofing should be with galvanized corrugated iron to the original profile and thickness and using fixings to match the original. If possible, sheets in good condition should be retained and new rolled corrugated sheets to match existing profile, thickness and lengths. There are local manufacturers, use of 9mm thick galvanized sheeting.

RECOMMENDATIONS FOR HIGH LEVEL STRUCTURAL UPGRADE WORKS

Location	Structural Timber	Repair Type	Size	Comments	Urgent
Timber Structure Roof	Trusses are showing small movement of the mortice and tenon joints where struts are connected to the king posts. Sagging of the tie beam. Fascia boards at the perimeter edges are showing mores signs of deterioration than other areas due to their location and exposure condition. The current paint system to most of the exposed framing, fretwork and steel connectors is showing evidence of delamination.	All truss node connections be visually looked at by a builder and tightened / made good as required. Tightening or replacement of roof bracing rods (tightening should only be to a level that eliminates sag. Remove paint system from all structural timbers, fascias, gable ends, decorative details. a paint specification be developed to strip, prepare and paint all exposed elements to ensure future protection against weathering. Strip back paint and inspect for rotted soft spongy timber members. Check for replacement and/or splice/scarf joints. Re- paint and use fungicide.	All trusses All fascia boards	Sagging and loose connections causes movement elsewhere.	High/1 High/1 High/1 High/1



Description

The roof structure is made up of a series of timber trusses, timber hip & valley beams with timber purlins supporting metal roof sheeting. The trusses are supported on timber pitching beam over timber posts on the east and west side. Infill masonry has been constructed on the west side. A series of steel rod cross bracing is located for the length of the roof structure at truss bottom chord level. The struts are connected to king post and top chords (or principal rafters) with mortice & tenon joints. The bottom chord (or tie beam) is connected to the king post with steel stirrup strap with what appears to be a gib & cotter. We assume the king post is also connected to the tie beam with a mortice & tenon joint. Top chords (or principal rafters) are connected to King post with a two-way steel strap only suggesting these also have a mortice & tenon joints. Top chord (or principal rafter) is connected to the bottom chord (or tie beam) with a mortice & tenon joint and tie rod.

Comments (CARDNO/TGM Princes Park Grandstand Report 2021)

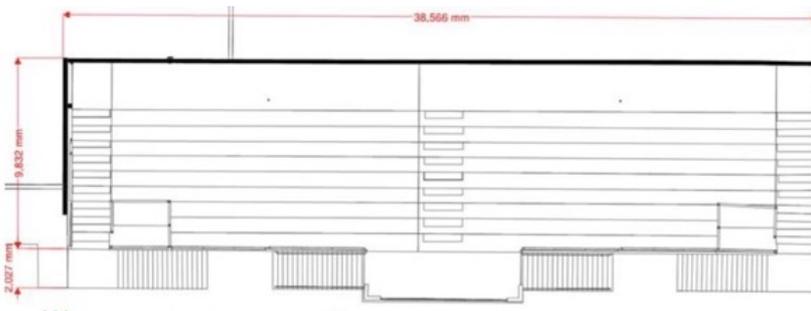
It is recommended that the works described as High/1 Priority are planned as soon as possible and within one to two years. Annual inspections, recording and five-year action plans with a programme of works that includes checking over and tighten tall timber joints, checking on the condition of all structural and non-structural timber members. It is recommended that the paint system of the entire timber structure, gable end and decorative details and seating is removed. All timber is inspected for faults, rot, algae or fungal attack, and the like. Deteriorated timber is replaced with either the entire member or through splicing in or scarfing methods. Treat with a fungicide and recommended paint system. Maintenance should consist of regular inspections linked to a five-year action plan that includes re-application of one or two coats of paints according to stages of deterioration. The impact of climate change bringing different weather will require monitoring.



It is recommended that all missing decorative timber detailing is reinstated. Loose timber decorative details have been removed and stored at the Council depot for safe keeping and safety. 1:1 scale dimensioned sketches should be prepared for reconstruction and replacement exactly like for like. This includes replacing the balustrade.

RECOMMENDATIONS FOR HIGH LEVEL STRUCTURAL UPGRADE WORKS

Location	Floorboards and timber stairs	Repair Type	Size	Comments	Priority
Floorboards and timber stairs	Floorboards are showing generally showing signs of typical wear & tear, weathering, splitting, some loose fixings to joists and bowing. We recommend that these be entirely replaced to ensure adequate protection of the sub-floor framing	Recommend that the timber floor throughout including the timber stairs be entirely replaced to ensure adequate protection of the sub-floor framing	All	Floorboards generally showing signs of typical wear & tear, weathering, splitting, some loose fixings to joists and bowing.	High/1



The tiered seating is generally made up of 19mm boards over 150 x 50 HW timber joists in turn supported by 320 x 100 HW bearers. These bearers are then supported on a trussed sub-floor system as shown below. These trusses are spaced at approximately 5.0m centres.

Comments (CARDNO/TGM Princes Park Grandstand Report 2021)

The timber structural system of the grandstand relies on the timber lining boards of the floor, tiered seating and stairs provides rigidity to the structure, and protection to the subfloor structure.

Deterioration of the timber floor causes rotting of structural members below and creates a moist damp climate beneath the seating area for fungal growth which further deteriorates the structural members. This is besides public safety requirements.

To maintain the floor, stairs and raked seating area in good condition is vital for the long-term preservation of the structure and safety of users.

Areas with greater weather exposure will deteriorated at a faster rate than elsewhere and should be inspected regularly.

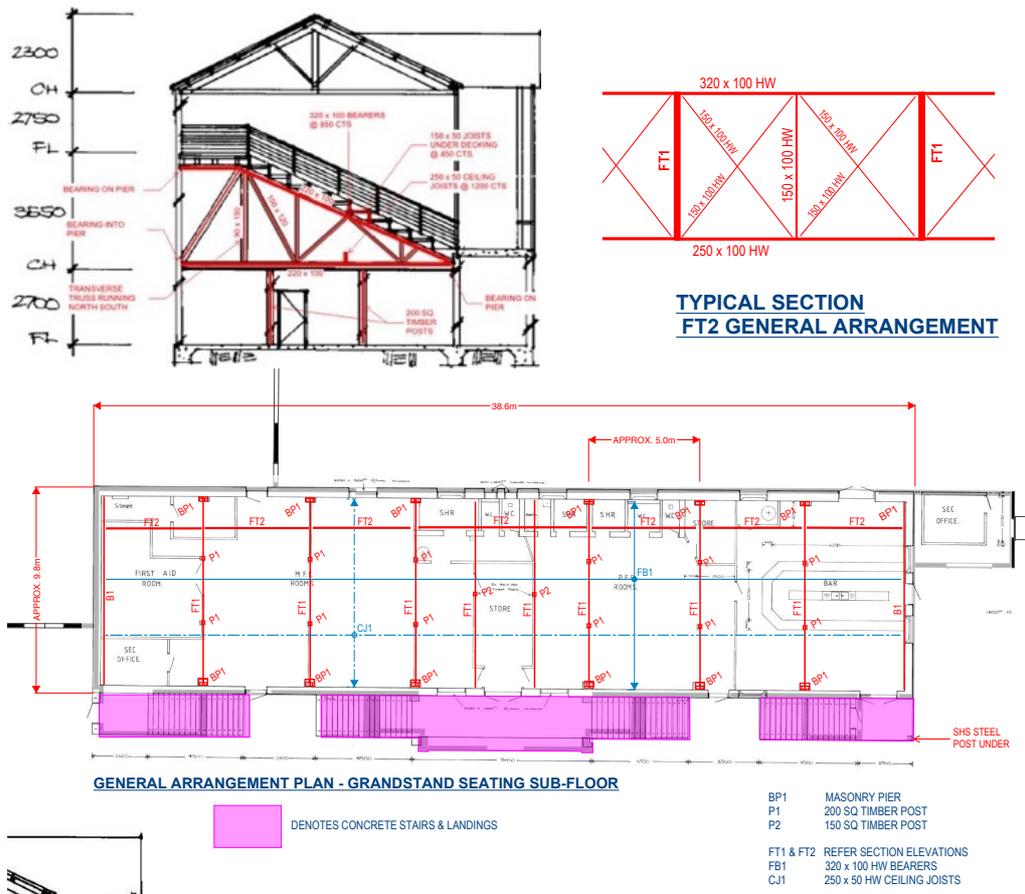
It is recommended that the entire floor system be taken up and replaced, Recycling of sound boards is recommended, otherwise, sourcing matching floorboards of the same thickness, width and length and profile is required.

All replacement of timber floor lining boards should always be fingered in using different lengths and never replaced with a square cut joint. This may mean more timber boards are replaced at any one time. However, it is structurally sound and aesthetically pleasing and complies with best conservation practice.

Thereafter routine maintenance covers annual inspection and bi-annual replacement where required.

RECOMMENDATIONS FOR HIGH LEVEL STRUCTURAL UPGRADE WORKS

Location /Ref	Subfloor timber structure	Repair Type	Size	Comments	Priority
Subfloor Area of the Raked Seating	The primary sub-floor truss system is supported on masonry piers each end as well as by intermediate timber posts. Foundation exposures were not completed as part of this report.	Clean out subfloor area and inspect when the timber floor has been removed. The external access stairs to the grandstand are not part of the original build and have been constructed of concrete supported on masonry walls.	All	There is evidence of past repairs and strengthening of the timber posts.	High/1



Comments (CARDNO/TGM Princes Park Grandstand Report 2021)

The grandstand timber framing is in reasonable condition. The floorboards are generally showing signs of typical wear & tear, weathering, splitting, some loose fixings to joists and bowing.

The current paint system of the framing structure is showing evidence of de-lamination in many areas. Fascia boards at the perimeter edges are showing more signs of deterioration than other areas due to their location and exposure condition. Photos G-FR5 & 6 are typical of the condition of the floorboards throughout the grandstand.

Apart from weathering to the paint coating system, the timber purlins, trusses, hip & valley members and timber framing in general all appeared to be in good condition with no evidence of over-stress or severe deterioration.

Unfortunately, recording in detail the existing condition of the sub-floor framing was not possible due to limited access, poor lighting and safety in traversing the ceiling framing. What was recorded appeared to be in good condition with no evidence of over stress observed on the timber trussed system and the node connections.

We would recommend that a closer inspection of sub-floor structure should be completed during any replacement of the tiered seating boards. (CARDNO/TGM Princes Park Grandstand Report 2021)

RECOMMENDATIONS FOR HIGH LEVEL STRUCTURAL UPGRADE WORKS

Location /Ref	Structural defect timber post and brick wall	Repair Type	Size	Comments	Priority
North-east corner of the Grandstand associated with the timber post and brick and concrete external stairs.	The north-east corner post that is leaning to the west needs to be straightened. The post is bearing on the corner of the concrete landing where there has been some movement between the landing interface with the masonry under. This has caused the post to rotate and is now visibly out of vertical alignment.	We recommend that the roof be propped in this zone. Masonry supporting the landing be patched & repaired. The column be disconnected at its base, straightened and suitable connected back to the concrete landing. Depending on the condition of the post base, a replacement post may be required to be able to marry in a base fixing detail that is sympathetic to the rest of the structure.	NE corner	Remedial action recommended in conjunction with repair of masonry walls.	High/1



View of the northeast - corner where the timber post is leaning to the west. There is a visible lean to the west of the north-east corner post. This is the site of previous alterations and settlement. The cause is unknown. Future maintenance is associated with repair of the masonry wall described below.

RECOMMENDATIONS FOR HIGH LEVEL STRUCTURAL UPGRADE WORKS

Location /Ref	Masonry walls staircases	Repair Type	Size	Comments	Priority
All masonry walls	The masonry walls. The external access stairs to the grandstand are not part of the original build and have been constructed of concrete supported on masonry walls.	All cracks in masonry & mortar beds identified in Section 3 to be patched & repaired using an approved epoxy resin injection or approved mortar mix.	All		High/1
		All loose and missing masonry & mortar bedding identified in Section 3 to be patched & repaired using an approved mortar mix. Vertical & horizontal fascia boards at top of masonry that are showing signs of weather deterioration should either be stripped back and re-painted or replaced.	All		High/1
		Poorly cored holes with some minor cracking directly between core and top of window to west masonry wall to be patched & repaired. De-laminated render to soffit of window arch lintels on west elevation to be patched and repaired. All spalled concrete to east stairs and landings to be repaired using a high strength repair patch. All cracks concrete to east stairs and landings (surface, soffit and face) to be cleaned and repaired using a suitable resin injection and made good. All spalled & cracked to central concrete arches and post plinths to be repaired in a similar manor to the concrete stairs and landings.	All		High/1



View of the rear walls mortar joints are loose and eroded.



Comments (CARDNO/TGM *Princes Park Grandstand Report 2021*)

Recommended maintenance plan is based on annual inspections and repairs as highlighted by CARDNO/TGM structural engineers in their structural dilapidation report *Princes Park Grandstand Report 2021*.

External North Face

- Cracking where north concrete landing abuts masonry (Photo N-GS1)
- Slight lean to the west of north-east corner post (Photo N-GS1)
- Masonry crack above small window on left hand side and above air vent (Photo N-GS2 & 3)
- Masonry cracks to left of small window on left hand side (Photo N-GS2)
- Missing masonry unit / loose masonry (Photo N-GS4)
- Evidence of crack repair in corner where small kiosk abuts north wall (Photo N-GS5)
- North fascia board at top of masonry showing some signs of weathered deterioration (Photo N-GS6)

External West Face

- The west face is generally in good condition (particularly the infill masonry at the top to the rear of the seating area) for the extent of masonry constructed without articulation. There is evidence of patch-up work having taken place particularly where holes have been cored in the masonry to allow for services penetration or new window openings installed and previous existing openings in-filled.
- Loose masonry to bottom left corner of double timber door (Photo W-GS1)
- Evidence of previous masonry repair beneath first small window (Photo W-GS2)
- Poorly cored hole (un-patched) with some minor cracking directly between core and top of first window (Photo W-GS3).
- De-laminated render to soffit of window lintel and loose masonry to lintel on right hand side where service is penetrating. (Photo W-GS3)
- Minor cracking & missing mortar to lower masonry to south side of hot water unit (Photo W-GS4)
- Minor cracking & missing mortar between two southern windows (Photo W-GS5)
- Cracking to external pavement in corner where clubroom wall abuts west grandstand wall (Photo W-GS6).

External North-East Concrete Stair & Landing

- Evidence of crack repair to left side of door opening (Photo ST1)
- Small spald edge to top concrete stair edge (Photo ST1)
- Evidence of crack repair to right side of double door opening (Photo ST2)
- Evidence of minor cracking and previous crack repair to top right-hand side of double door opening above concrete lintel (Photo ST2).
- Minor hairline cracks to face of concrete landing (Photo ST3)
- Delamination / spalling to north face where abutting grandstand (Photo ST4)

External South-East Concrete Stair & Landing

- Wearing surface to stairs is generally cracking & spalling (Refer Photo ST5 & 6)

External Middle Stairs & Landing

- Generally, in good condition. Some minor spalling at edges (Refer Photo ST7)

External Middle Concrete Landing

- Several cracks running in an east-west direction. (Refer Photo ST8 & 9)

RECOMMENDATIONS FOR SERVICES MAINTENANCE

Location /Ref	Detail	Repair Type	Size	Comments	Priority
Mechanical and Electrical Services Plumbing Services Fire Protection Security Compliance with the Disability Act and OHS Act 2021.	All services including maintenance of fire protection facilities, electrical wiring, fittings, lighting, heating, ventilating and air-conditioning system(s) must comply with all relevant Australian Standards. Security preventative measures include locks, security cameras, lighting systems and fencing. Plumbing and upgrade of toilets and showers.	Services associated with the ground level club changing rooms, toilets and showers are all in need of refurbishment and upgrade. Access to the ground level and all facilities should comply with the Disability Act.	All	The existing configuration of the interior, the openings, door and windows were re- arranged and altered in 1977.The surface finishes are not original. The brick walls and piers are structural and original	High/1

Conclusion

The preservation, restoration, maintenance and upgrade of an historic timber structure that is regularly used by community groups has many challenges. This Conservation Management Plan should be read in conjunction with the dilapidation assessment by CARDNO/TGM *Princes Park Grandstand Report 2021*.

The preservation of the timber structure, where the heritage value is associated with the timber structure and decorative detail itself, means that retention and preservation of the surviving timber in its original location is required. This can include, where the timber is lost, replacement based on the principle ‘like for like’, that is re-creating original details and profiles. The timber structure, as a whole, acts as a stable unit and each individual member is important. Each timber entity must become a stable unit, structurally sound, without other support systems such as new interventions like additional ties, posts and beams. The objective is to retain the original structural units and all different member parts, rather than undertake interventions of a different kind. This approach to design is less costly and will also preserve the historic building to a greater extent.

Preservation requires a detailed analysis and understanding of the whole structure and how it works. Failure of one member, can jeopardize the whole through uneven stress loading. For this reason, each individual timber member of the Princes Park Grandstand has been carefully recorded, measured, drawn and the connections inspected by CARDNO/TGM structural engineers.

The sequencing of conservation and repairs is important. The purpose of repair is to restore the structural strength of each timber member and the joints which connect it to the frame of which it is a part. The methodology to repair must consider, whether a timber member is in compression or tension as approaches to repair are quite different.

Similarly, members subject to bending such as a beam or rafter, must be repaired to withstand this pressure. Ends of rafters are often subject to most damage. Over time the north-east corner timber post has been subject to uneven forces and settlement causing distortion.

Failure of the joints between members and connectors will become dangerous to a frame. These are vulnerable points and are particularly vulnerable to infestation and water damage.

With regard to the above well-known principles of timber frame conservation, it is recommended that repair and maintenance of the whole timber frame be undertaken at the same time, if possible. This should include repair of the corrugated galvanized roof cladding as slow penetration of rainwater onto the beams and floor over many decades is causing considerable damage. Water flowing over rusted corrugated sheeting is staining the timber rafters of the roof structure.

At the same timber remedial action should be planned to correct the distortion of the timber post on the North-East corner. Evidence of distortion maybe a sign of failure elsewhere. No attempt should be made to correct distortion without freeing the entire frame from the fixed or inflexible structures. A structural engineer's services are required to undertake this work.

Reinstatement of lost timber decorative detailing and the timber balustrades is recommended. All timber should be cleaned and be protected with a clear preservative treatment after removal of the existing paint system. Caution should be taken with painted systems as timber damage can occur beneath the painted surfaces, which is not noticeable when estimating the extent of work, and budget costs. As much of the original timber should be retained, even when it is in a relatively poor condition. New techniques are available using wood consolidants and other new epoxy resin materials.

The restoration of the Grandstand may be slow and costly, but it is of incomparable value.

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