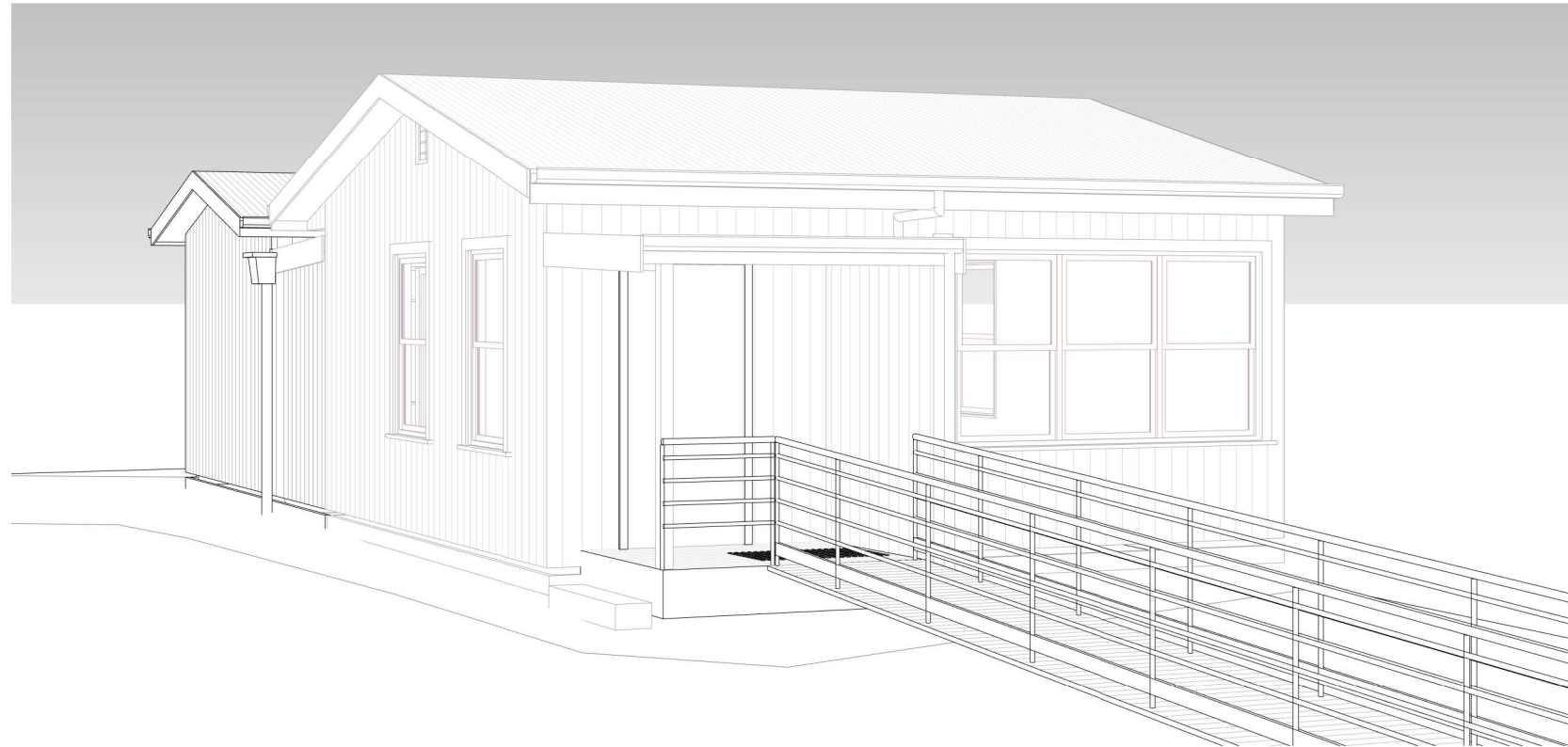


# ARCHITECTURAL DRAWINGS



DRAWING LIST						
Sheet Number	Issue	Sheet Name	Sheet Issue Date	Drawn By	Current Revision	Current Revision Date
A100	WD	COVERSHEET	06.11.2020	PC	C	02.09.20
A101	WD	GENERAL NOTES	06.11.2020	PC	C	02.09.20
A102	WD	SCHEDULES	06.11.2020	DS	F	06.11.20
A103	WD	LOCALITY PLAN	06.11.2020	PC	C	02.09.20
A201	WD	EXISTING SITE PLAN	06.11.2020	PC	C	02.09.20
A202	WD	EXISTING FLOOR PLAN	06.11.2020	PC	C	02.09.20
A203	WD	EXISTING ELEVATIONS	06.11.2020	PC	C	02.09.20
A204	WD	DEMOLITION PLAN	06.11.2020	PC	C	02.09.20
A301	WD	PROPOSED SITE PLAN	06.11.2020	PC	C	02.09.20
A302	WD	SUBFLOOR / SETOUT PLAN	06.11.2020	DS	E	02.10.20
A303	WD	PROPOSED FLOOR PLAN	06.11.2020	DS	F	06.11.20
A304	WD	PROPOSED RAMP PLAN	06.11.2020	DS	E	02.10.20
A305	WD	PROPOSED ELEVATIONS	06.11.2020	PC	F	06.11.20
A401	WD	PROPOSED SECTION	06.11.2020	DS	E	02.10.20
A402	WD	PROPOSED RAMP DETAILS	06.11.2020	DS	E	02.10.20
A403	WD	BRACING PLAN	06.11.2020	DS	D	08.09.20
A404	WD	ELECTRICAL PLAN	06.11.2020	DS	F	06.11.20
A405	WD	HYDRAULIC PLAN	06.11.2020	DS	E	02.10.20
A406	WD	ROOF PLAN	06.11.2020	PC	F	06.11.20
A407	WD	EMERGENCY LIGHTING PLAN	06.11.2020	DS	D	08.09.20
A408	WD	FIRE SERVICES PLAN	06.11.2020	DS	D	08.09.20
A500	WD	3D VIEWS	06.11.2020	PC	C	02.09.20
A600	WD	ACCESSIBLE SANITARY COMPARTMENT NOTES	06.11.2020	PC	F	06.11.20
A601	WD	ACCESSIBLE SANITARY COMPARTMENT DIAGRAMS	06.11.2020	PC	C	02.09.20

As per Bushfire Prone Area Report, this property is not in a designated bushfire prone area. **No Bushfire construction requirements apply.**

**BAL-N/A**

**DMC**  
Drafting & Design

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MOBILE: 0408 171 290  
EMAIL: dmcdrafting@bigpond.com

## SITE INFORMATION

<b>Building Classification:</b> Class 9B	<b>BAL Level:</b> - NA <small>Site Classification to AS3959-2009</small>
<b>Land Title Reference:</b> - Plan of Subdivision: OP123416	<b>Floor Area:</b> - 54.39m <sup>2</sup>
<b>Wind Classification:</b> - N2 <small>Site Classification to AS4055-2006</small>	<b>Alfresco Area:</b> - 12.76m <sup>2</sup>
<b>Soil Classification:</b> TBC By: TBC <small>Site Classification to AS2870-2011</small>	<b>SUB-CONSULTANT</b>
<b>Climate Zone:</b> - 6	<b>Engineering:</b> TBC
	<b>Energy Rating:</b> Green Rate SBC

**PROJECT:** PROPOSED EXTENSION TO AN EXISTING BUILDING (LIBRARY CONVERSION)

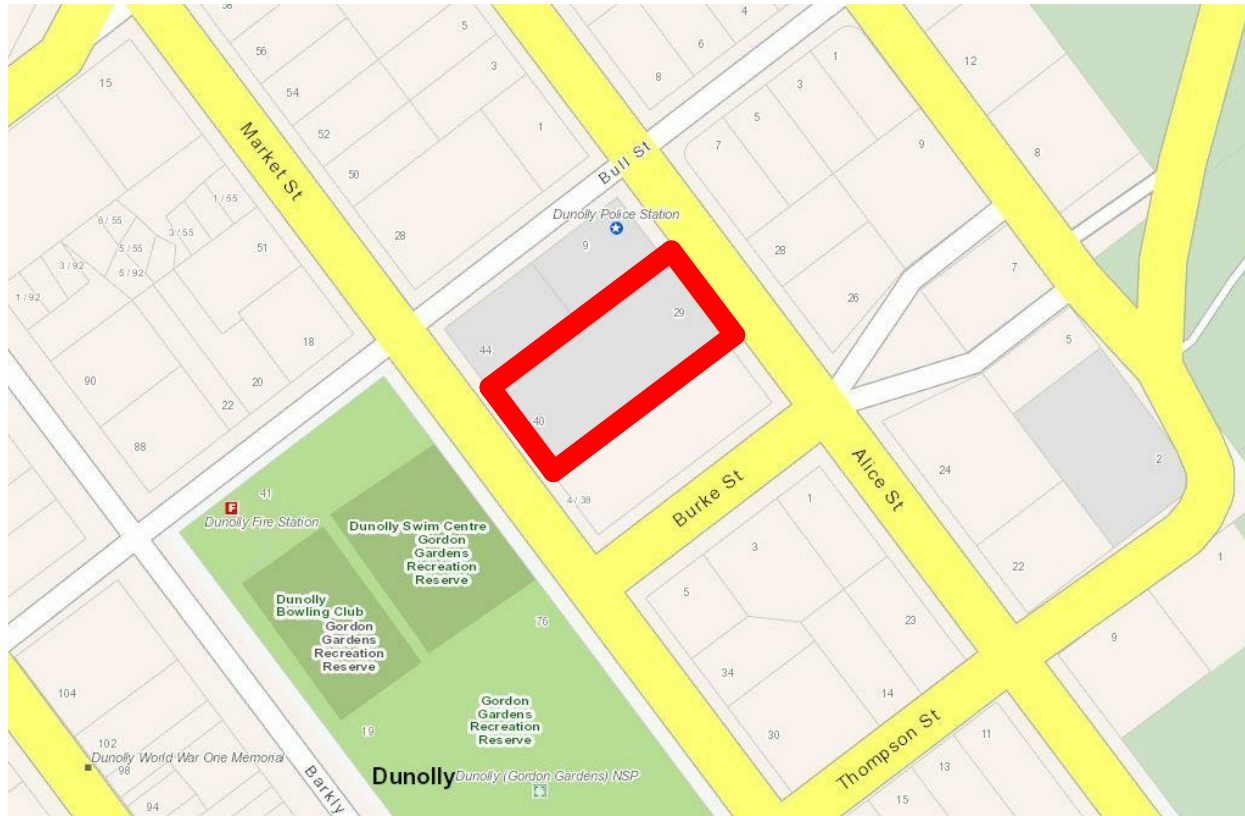
**ADDRESS:** 29 ALICE STREET  
DUNOLLY 3472

**CLIENT:** FNG GROUP PTY. LTD (MARTIN & JUSTIN)

**REF:** DMC-FG005-06-20

**DATE:** 06.11.2020





[1]



[3]



[2]

## PROPOSED SITE

29 ALICE STREET, DUNOLLY 3472

[1] ENLARGED LOCATION PLAN

SCALE: N.T.S

[2] LOCATION PLAN

SCALE: N.T.S

[3] STREET VIEW OF EXISTING SITE

SCALE: N.T.S

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### REVISIONS

Rev. #	Date	Drawn	Description
A	17.07.20	PC	PRELIM
B	04.08.20	PC	TP
C	02.09.20	DS	PRELIM WD's

PROJECT CLIENT: FNG GROUP PTY. LTD (MARTIN & JUSTIN)

ADDRESS: 29 ALICE STREET DUNOLLY 3472

PROJECT: PROPOSED EXTENSION TO AN EXISTING  
BUILDING (LIBRARY CONVERSION)

PROJECT NUMBER:

DMC-FG005-06-20

DATE: 06.11.2020

ISSUE NUMBER: WD

DRAWN BY: PC

APPROVED BY: DMC

SHEET NAME:

LOCALITY PLAN

SCALE:

DRAWING NO: A103



SITE PLAN NOTES

All site dimensions are in millimetres unless specified otherwise. Check and verify all dimensions, levels & conditions on site before costing, ordering or prefabricating any components from this drawing.

Refer to plan of subdivision for verification of all bearings, distances and easements.

Installation of all services including all stormwater, wastewater and sewer details shall comply with the respective supply authority requirements.

Ensure the F.S.L around the perimeter of the dwelling slopes away from the dwelling a minimum 50mm over a distance of 1m.

STORMWATER NOTES:

- Stormwater to discharge to legal point of discharge as per local council requirements.
- The builder and subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footings and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system
- All pipes shall be of 90mm UPVC material when roof area is <250m² and 100mm UPVC when roof area is >250m² @ no less than 1:100 fall.
- Pipes should be laid with even fall & to the legal point of discharge as directed by the relevant authority.
- Provide all bends, junctions etc as necessary inspection opening shall be provided at major direction changes and 9.0m (max) ctrs.
- Pipes shall be laid no closer than 600mm from building line.
- Provide agricultural drains to all site cuts or batters exceeding 600mm in height, ag drains to be connected to approved stormwater system via silt pit.

Stormwater drains shall be not less than;  
NOT SUBJECT TO VEHICULAR MOVEMENT:

- 100mm under soil where there is no paving
- 50mm\* under paved or un-reinforced concrete areas

SUBJECT TO VEHICULAR MOVEMENT:

- 450mm under soil where there is no paving
- 75mm\* under paved or un-reinforced concrete areas (light vehicle loading only - for heavy vehicle loading refer to AS3500.3 - Table 7.1

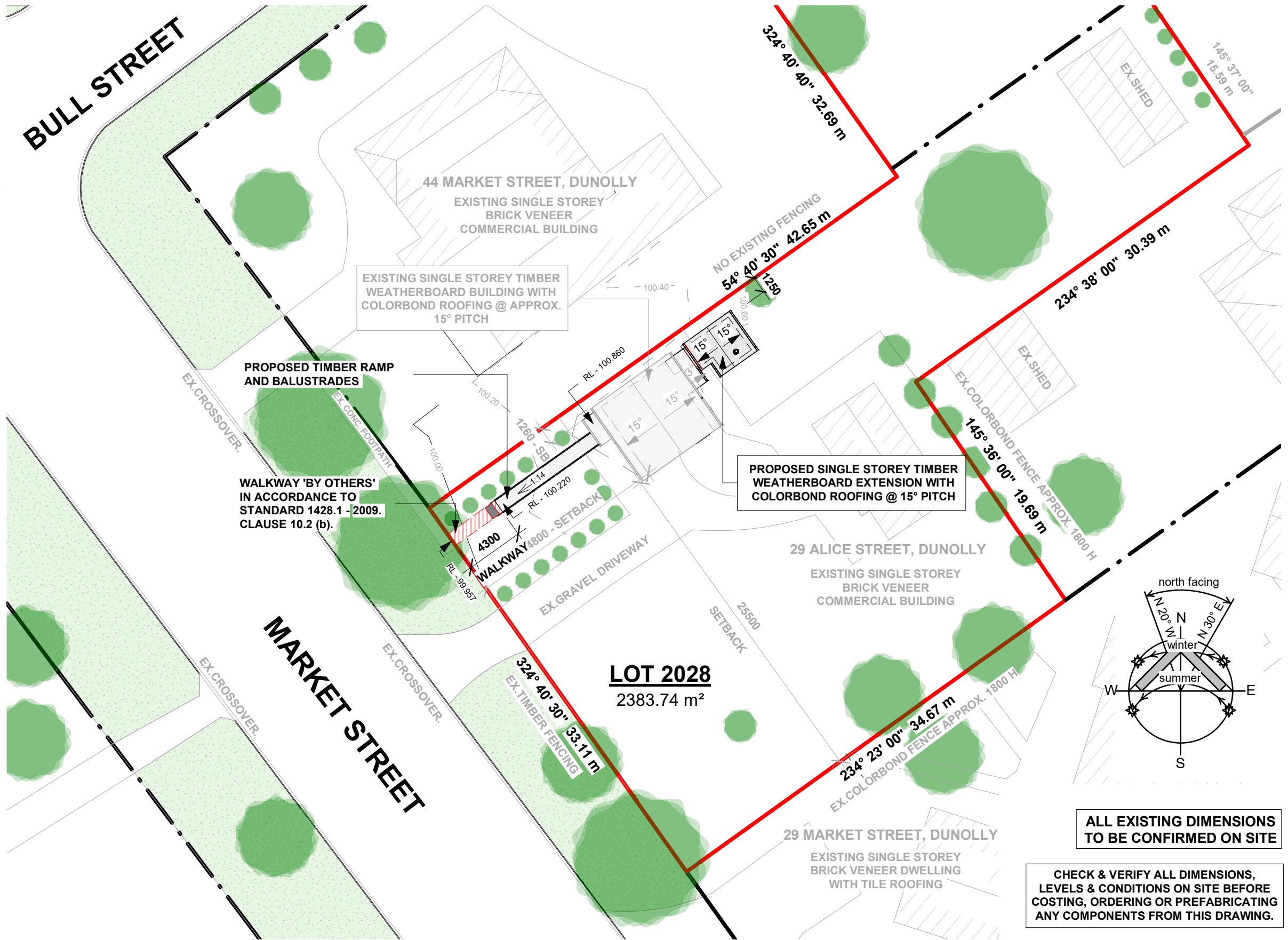
\* From underside of pavement

SERVICES NOTES:

- Different parallel services that are in close proximity may be laid in a common benched trench or easement subject to approval of relevant authorities.
- Back fill of all service trenches in garden and grass areas shall be approved fill of maximum particle size 75mm from the service bedding material to the underside of the topsoil.

EXCAVATION NOTES:

- The external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m.
- Excavations must be 600mm clear from boundary. If this can not be achieved a protection works notice may be required if relevant building surveyor determines it is required.
- Verify power, telstra and water main positions prior to any excavations.



1 PROPOSED SITE PLAN  
1 : 300

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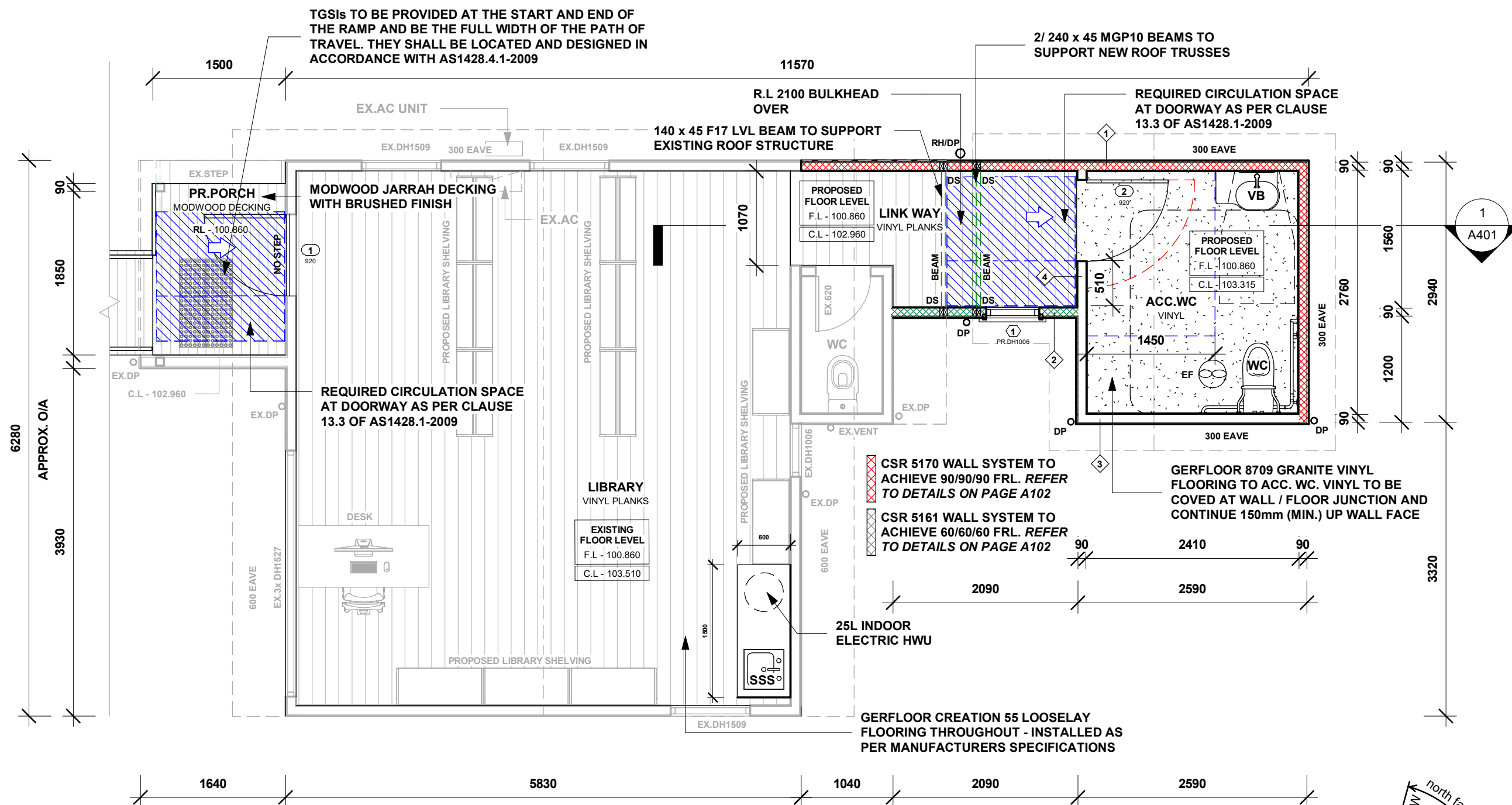
REVISIONS				
Rev. #	Date	Drawn	Description	
A	17.07.20	PC	PRELIM	
B	04.08.20	PC	TP	
C	02.09.20	DS	PRELIM WD's	

PROJECT CLIENT: FNG GROUP PTY. LTD (MARTIN & JUSTIN)	
ADDRESS: 29 ALICE STREET	DUNOLLY 3472
PROJECT: PROPOSED EXTENSION TO AN EXISTING BUILDING (LIBRARY CONVERSION)	

PROJECT NUMBER: DMC-FG005-06-20	DATE:	06.11.2020	SHEET NAME: PROPOSED SITE PLAN	
	ISSUE NUMBER:	WD		
	DRAWN BY:	PC		
	APPROVED BY:	DMC	SCALE: As indicated	DRAWING NO: A301

820 - Door width (Nom.)  
1012 - Window size H x W (Nom.)  
C.H - Ceiling Height  
C.O.S - Confirm on site  
CSD - Cavity Sliding Door  
DP - Downpipe  
DS - Double Stud  
DW - Dishwasher  
EF - Exhaust Fan  
EX. - Existing  
F - Fixed  
F.F.L - Finished Floor Level  
FW - Floor Waste  
H - Lift off hinges to WC  
HR - Handrail  
HWS - Hot Water Service  
LBW - Load-bearing Wall  
MV - Microwave  
N.G.L - Natural Ground Line  
O - Openable  
OHCB - Overhead Cupboards  
PDP - Proposed Downpipe  
REF - Refrigerator  
R/H - Rangehood  
R.L - Arbitrary raised level  
RWH - Rainwater Head  
SD - Smoke Detector  
SGD - Sliding Glass Door  
SHWR - Shower  
SSS - Stainless Steel Sink  
T - Trough  
TR - Towel Rail  
V - Vent  
VB - Vanity Basin  
WC - Water Closet  
WIR - Walk in Robe  
WM - Washing Machine  
WN - Wall Niche  
WO - Wall Oven  
WP - Water Point  
WT - Water Tap

PROPOSED AREA SCHEDULE		
NAME	AREA	SQUARES
EX.BUILDING	38.72 m <sup>2</sup>	4.17
PR.EXTENSION	12.76 m <sup>2</sup>	1.37
EX.PORCH	2.91 m <sup>2</sup>	0.31
TOTAL:	54.39 m <sup>2</sup>	5.85



1

1 : 50

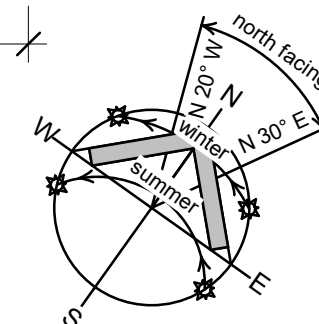
Builder to verify all dimensions and levels on site prior to commencement of proposed scope of works. All work to be carried out in accordance with the National Construction Code of Australia 2019 – Volume 2.

Check & verify all dimensions, levels & conditions on site before costing, ordering or prefabricating any components from this architectural drawing set.

All timber framing to be in accordance and comply with the Australian Standard AS1684.2-2010 – National Timber Framing Code.  
Timber stud frames to be nominal 90 x 35mm MGP10 at maximum 450mm centres, unless nominated otherwise throughout the architectural drawing set.  
Galvanised wall ties to masonry at 450mm centres horizontally & 400mm centres vertically in accordance with the NCC 2019 – 3.3.5.10. Wall ties placement around openings to be in accordance with the NCC 2019 – Table 3.3.5.3b.  
Fixing and Tie-down design must be in accordance with Section 9 of the Australian Standard AS1684.2-2010 – National Timber Framing Code.

**New buildings must achieve a min. 6-star energy requirement, as per Energy Report by Qualified Energy Ratter, in accordance with the NCC 2019 – Part 3.12. All gaps & cracks around doors, windows and surface penetrations to be sealed. All nominated exhaust fans to be sealed. Skylights to be non-vented type, unless specified otherwise.**

All gutter and downpipes to be of compatible materials in accordance with the NCC 2019 – 3.5.3.2.  
Gutters to comply and be installed in accordance with the NCC 2019 – 3.5.3.3 & 3.5.3.4.  
Downpipes to comply and be installed in accordance with the NCC 2019 – 3.5.3.5.



**CHECK & VERIFY ALL DIMENSIONS,  
LEVELS & CONDITIONS ON SITE BEFORE  
COSTING, ORDERING OR PREFABRICATING  
ANY COMPONENTS FROM THIS DRAWING.**



**ABN: 17 097 849 769**

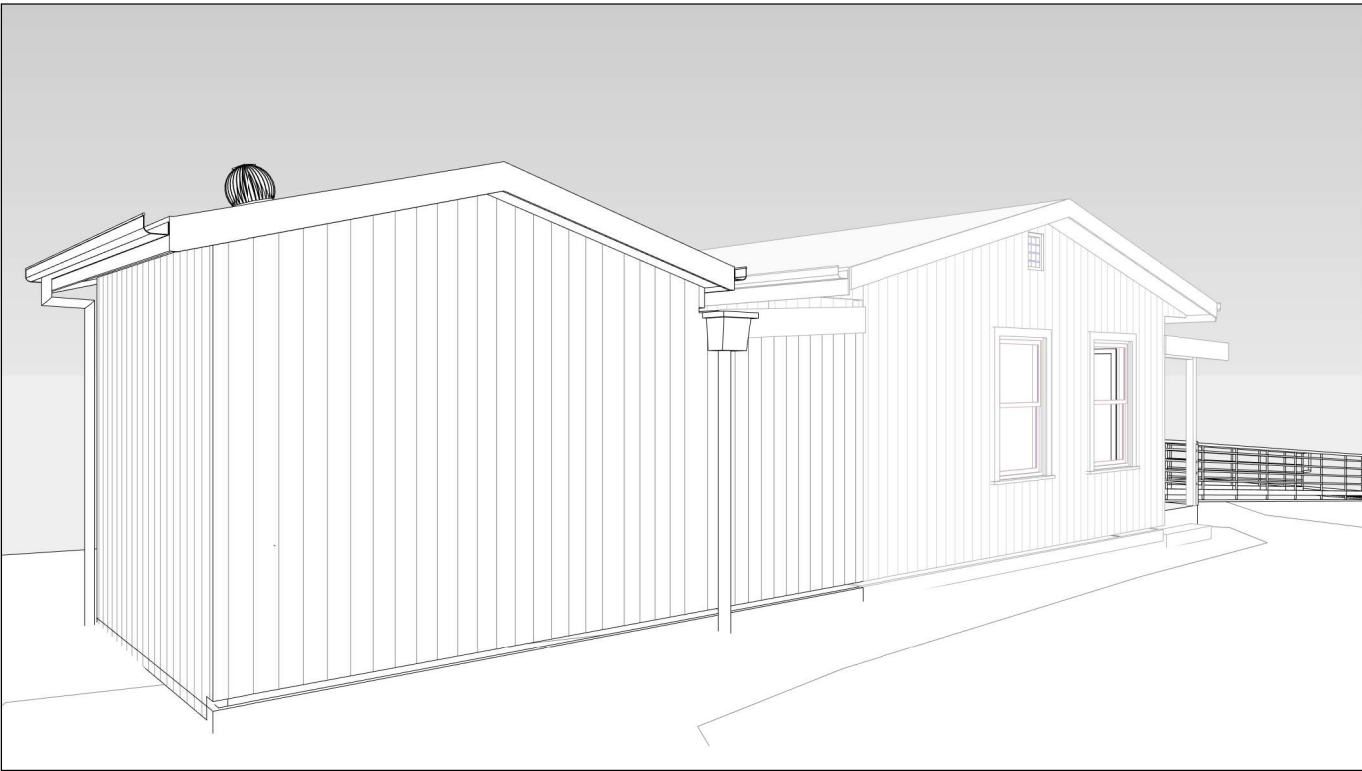
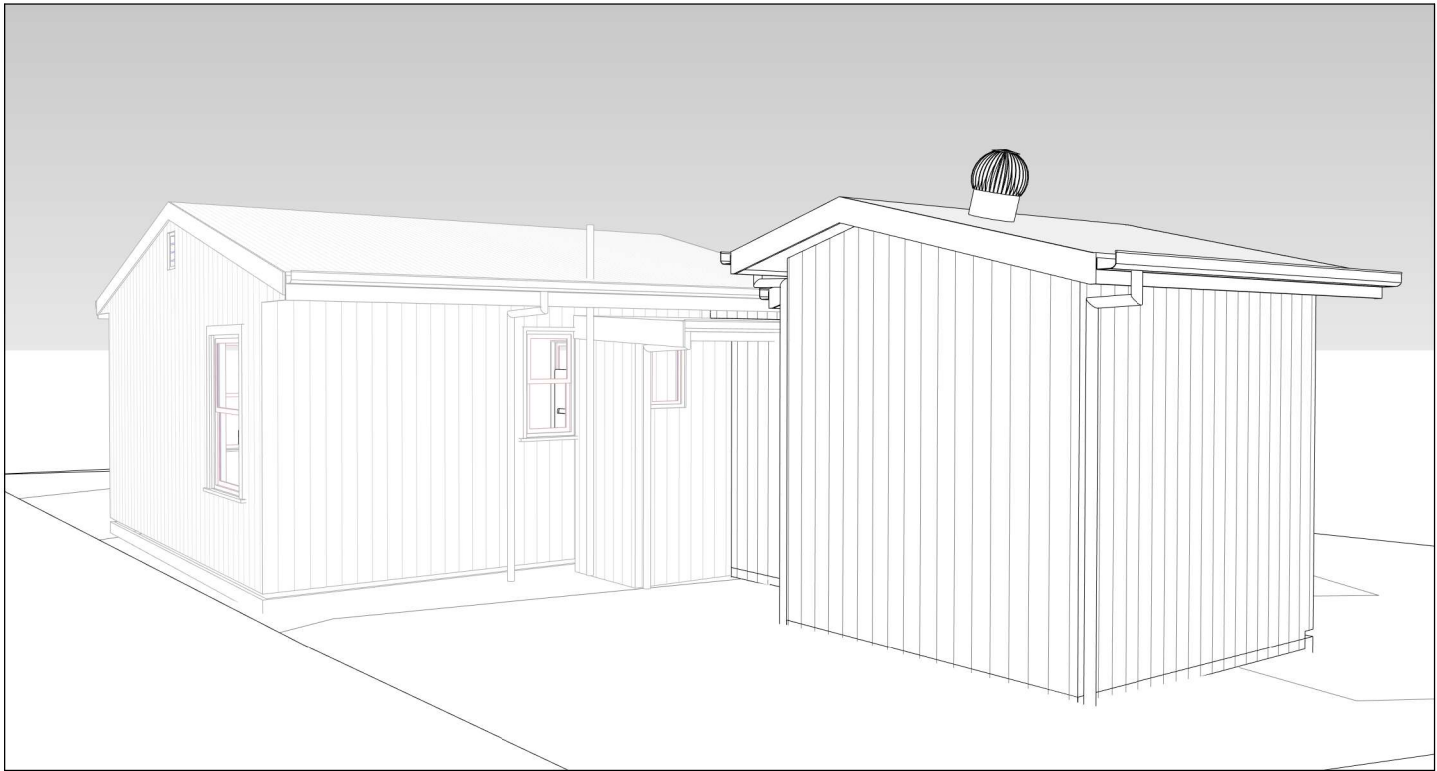
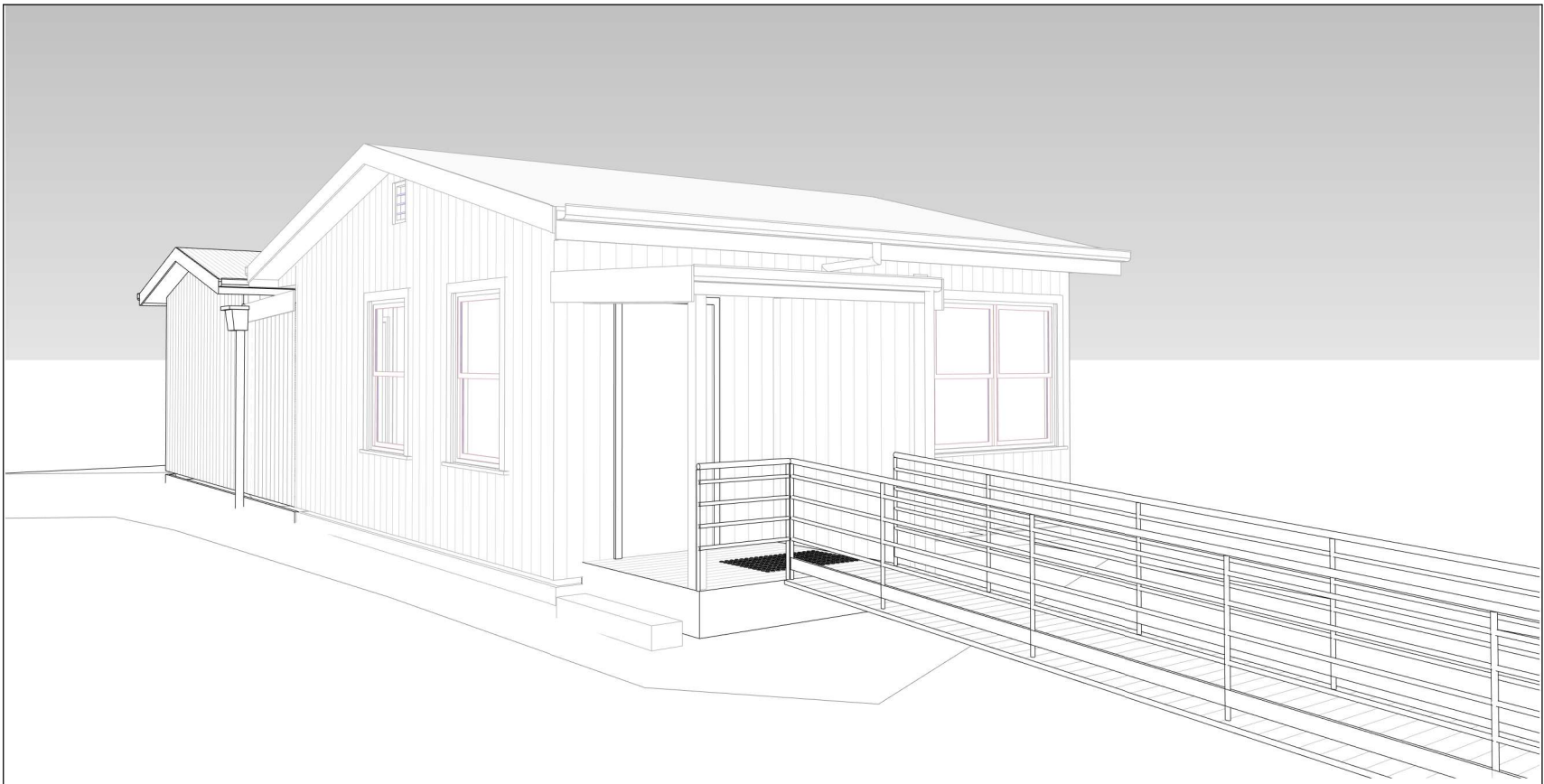
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<b>Rev. #</b>	<b>Date</b>	<b>Drawn</b>	<b>Description</b>
B	04.08.20	PC	TP
C	02.09.20	DS	PRELIM WD's
D	08.09.20	DS	CLIENT AMENDMENTS
E	02.10.20	DS	ENERGY REPORT / AMEND.
F	06.11.20	DS	BUILDING PERMIT RFI

PROJECT: PROPOSED EXTENSION TO AN EXISTING BUILDING (LIBRARY CONVERSION)

2	PROJECT NUMBER:  DMC-FG005-06-20	DATE:	06.11.2020	SHEET NAME:  PROPOSED FLOOR PLAN	
		ISSUE NUMBER:	WD		
		DRAWN BY:	DS		
		APPROVED BY:	DMC	SCALE:	1 : 50





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Rev. #	Date	Drawn	Description
A	17.07.20	PC	PRELIM
B	04.08.20	PC	TP
C	02.09.20	DS	PRELIM WD's

PROJECT CLIENT: FNG GROUP PTY. LTD (MARTIN & JUSTIN)	
ADDRESS: 29 ALICE STREET	DUNOLLY 3472
PROJECT: PROPOSED EXTENSION TO AN EXISTING BUILDING (LIBRARY CONVERSION)	

PROJECT NUMBER: DMC-FG005-06-20	DATE:	06.11.2020	SHEET NAME: 3D VIEWS	
	ISSUE NUMBER:	WD		
	DRAWN BY:	PC		
	APPROVED BY:	DMC	SCALE:	DRAWING NO: A500